



# Board of Adjustment Staff Report

Meeting Date: April 5, 2018

Agenda Item: 9E

SPECIAL USE PERMIT CASE NUMBER: WSUP18-0001 (Ax Handle Canyon Wireless)

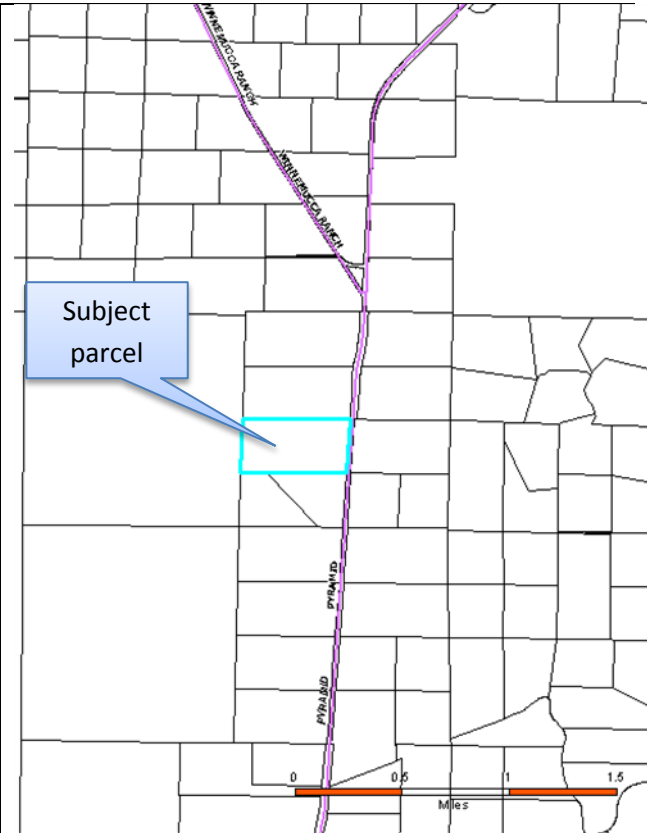
BRIEF SUMMARY OF REQUEST: Install 104 foot tall cell tower with all necessary appurtenances, grading for utility road and waving landscaping and parking requirements.

STAFF PLANNER: Planner's Name: Eva Krause  
Phone Number: 775.328.3628  
E-mail: [ekrause@washoecounty.us](mailto:ekrause@washoecounty.us)

### CASE DESCRIPTION

For possible action, hearing, and discussion to approve a special use permit for the installation and operation of a 104-foot tall monopole telecommunication facility with all necessary appurtenances/supporting equipment and facilities, for major grading (cut and fill of more than 1,000 cubic yards of material) to extend the utility access road an additional ±500 feet from the existing 1,700 foot driveway terminus at the residence on the property to the facility's leased area, and to vary development code requirements for landscaping and parking for a commercial use by waiving them for this project.

Applicant:	Sacramento Valley LP d/b/a Verizon Wireless
Property Owner:	14855 Pyramid Highway Land Trust
Location:	14855 Pyramid Highway
APN:	076-272-03
Parcel Size:	79.82 acres
Master Plan:	Rural (R)
Regulatory Zone:	General Rural Agriculture (GRA)
Area Plan:	Warm Springs
Citizen Advisory Board:	Warm Springs/Rural
Development Code:	Authorized in Article 810, Special Use Permits, Article 438 Grading Standards, Article 324 Communication Facilities
Commission District:	5 – Commissioner Herman
Section/Township/Range:	Section 24, T22N, R20E, MDM, Washoe County, NV



Vicinity Map

### STAFF RECOMMENDATION

APPROVE

**APPROVE WITH CONDITIONS**

DENY

### POSSIBLE MOTION

I move that, after giving reasoned consideration to the information contained in the staff report and information received during the public hearing, the Washoe County Board of Adjustment approve with conditions Special Use Permit Case Number WSUP18-0001 for Verizon Wireless.

(See complete Motion with Findings on Page 13)

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## **Special Use Permit**

The purpose of a special use permit is to allow a method of review to identify any potential harmful impacts on adjacent properties or surrounding areas for uses that may be appropriate within a regulatory zone; and to provide for a procedure whereby such uses might be permitted by further restricting or conditioning them so as to mitigate or eliminate possible adverse impacts. The Board of Adjustment (Board) is authorized to issue special use permits under NRS 278.315 and Washoe County Code (WCC) Article 810. Certain notice requirements must be met, which are discussed in this report. In approving the special use permit, the Board must consider and make five Findings of Fact, which are discussed below; [WCC Section 110.810.30]. The notice requirements and findings are discussed in this report. The Board is allowed to grant an approval of the special use permit that is subject to Conditions of Approval.

Conditions of Approval are requirements that need to be completed during different stages of the proposed project, including conditions prior to permit issuance, prior to obtaining a final inspection and/or certificate of occupancy, prior to issuance of a business license, or ongoing “operational conditions” which must be continually complied with for the life of the project.

The Conditions of Approval for this case are attached to this staff report as Exhibit A and, if approved, will be included with the Action Order.

In addition, the Special Use Permit (SUP) ordinance allows the Board to vary standards in conjunction with the approval process per WCC 110.810.20(e). The applicant is seeking the Board’s approval to eliminate landscaping and parking requirements. The Board of Adjustment will also be ruling on this request.

### **Special Communications Facility requirements**

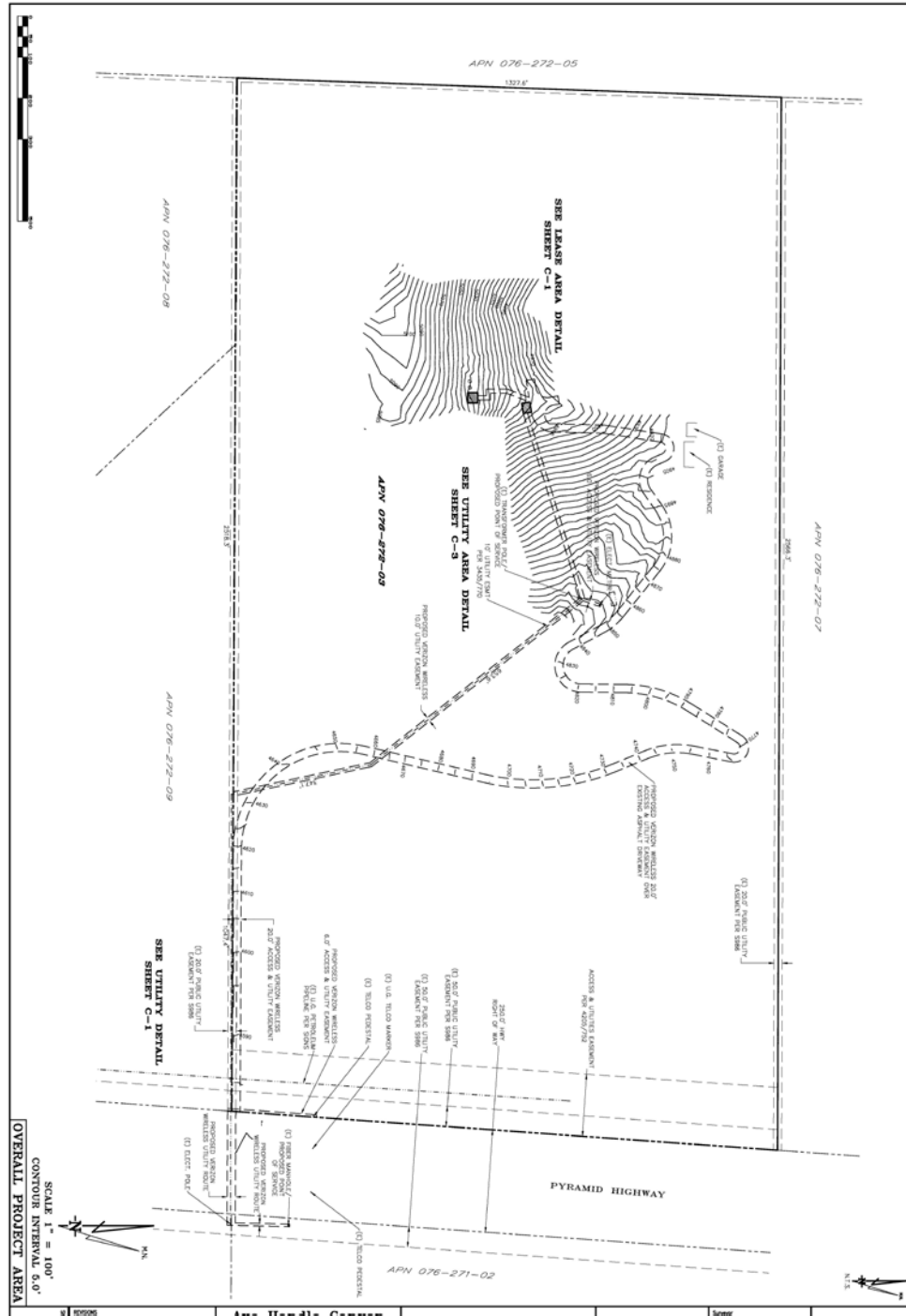
The proposed facility is a “communications facility” under Article 324 of the County Development Code which imposes specialized requirements and provides that when approving a special use permit, the Board must adopt the three additional findings listed in WCC Section 110.324.75 which are discussed in this staff report.

### **Special Federal and State Rules**

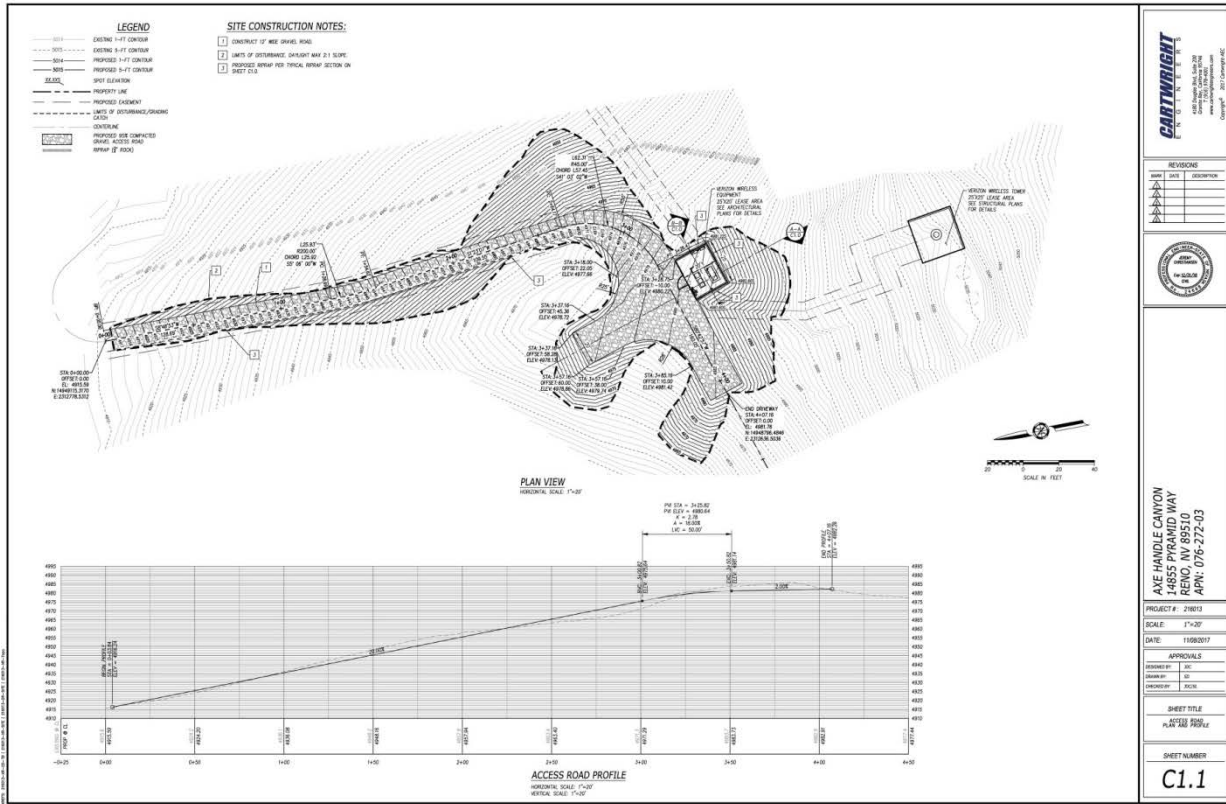
The proposed facility is a “personal wireless service facility” protected by federal law (Telecommunications Act of 1996, 47 U.S.C. Section 332 (c) (7)) and state law (NRS 707.550 – 707. 920). Generally, federal and state laws provide that when regulating the placement, construction or modification of wireless facilities:

- The Board shall not unreasonably discriminate among providers of functionally equivalent services;
- The Board shall not prohibit or have the effect of prohibiting the provision of personal wireless services;
- The Board must act within a reasonable time on applications for permits (presumed to be 150 days under FCC “shot clock” rules);
- If the Board deny a request to place, construct, or modify personal wireless service facilities, we must do so in a separate writing, and the decision must be supported by substantial evidence (evidence that a reasonable mind might accept as adequate to support a conclusion) contained in a written record. State law (NRS 707.585) requires that a decision denying an application must set forth with specificity each ground on which the authority denied the approval of the application, and must describe the documents relied on by the Board in making its decision.
- The Board may not regulate the placement, construction and modification of personal wireless facilities on the basis of environmental effects of radio frequency emissions to the extent that such facilities comply with FCC regulations concerning such emissions.

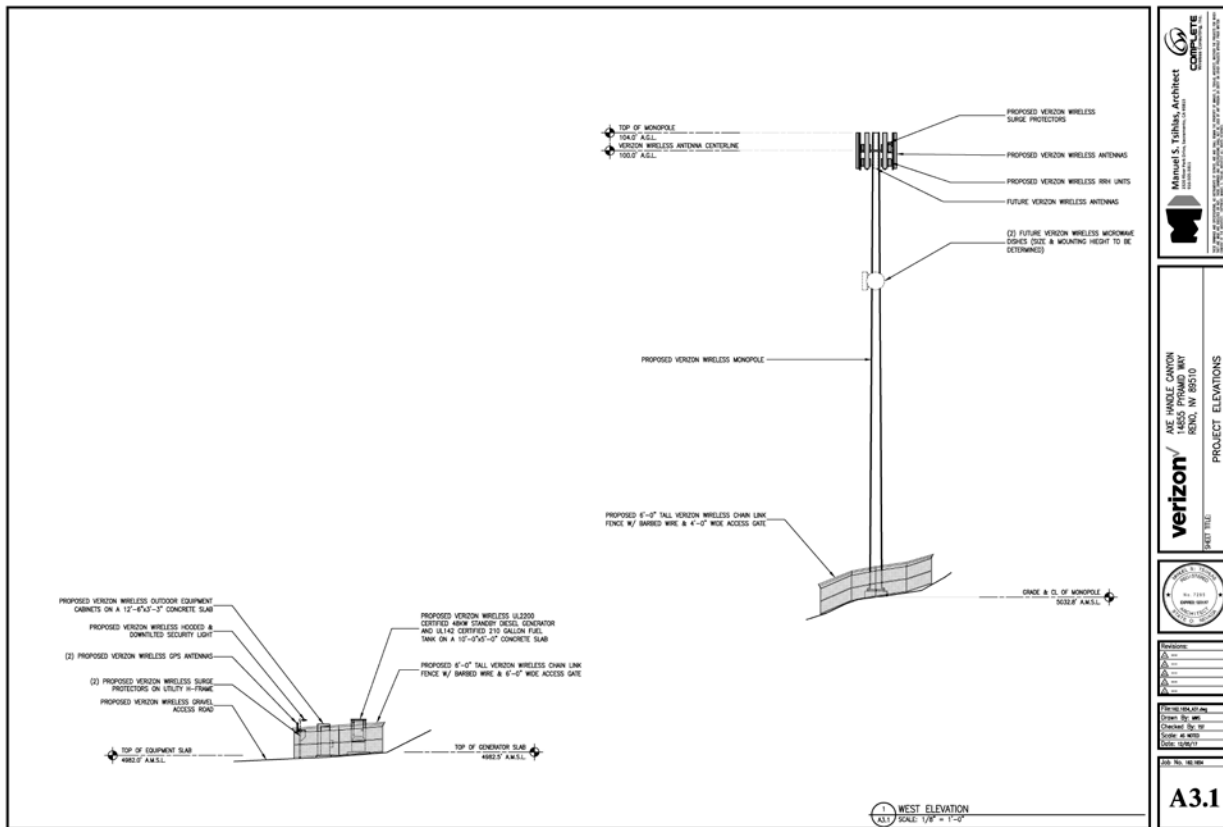
The subject property has a regulatory zone designation of General Rural Agriculture (GRA) and is in the Warm Springs Area Plan. The applicant is proposing to construct and operate a monopole telecommunication facility on a leased area of the property. The proposed development is a commercial use type and is classified as Wireless Communication/Cellular Facility under WCC 110.324.40. The proposed facility is permissible in the GRA regulatory zone with a special use permit per WCC Section 110.324.50(e)(2). In addition, the applicant will be importing more than 1,000 cubic yards of material to construct an access drive to the project site. Per WCC Section 110.438.30 Major Grading Permit Threshold, a special use permit is required.



**Site Plan**



**Site Plan Detail**



**Site Plan Elevation**

## **Project Proposal**

Verizon Wireless has requested a special use permit to construct and operate an unmanned wireless telecommunications facility with all necessary appurtenances including a 104-foot tall monopole at 14855 Pyramid Highway. The property is located approximately 1.5 miles north of Ax Handle Canyon Road, and one half mile south of Winnemucca Ranch Road. The proposed lease area for the facility is approximately 1,800 feet from Pyramid Highway. The 104-foot tall monopole will be located within a 25 by 25 foot leased area surrounded by concrete masonry units (CMU) wall and 6-foot chain link fencing. An additional 20 by 25 foot lease area will house the equipment cabinets and back-up generator and be surrounded with a similar CMU wall and chain link fence.

The proposed monopole will be equipped with 6 panel antennas and will have room for future collocation of antennas from other carriers.

## **Existing Conditions**

The proposed project site is approximately  $\pm 80$  acres and is developed with a single family residence. The residence is located approximately 1,700 feet west of Pyramid Highway and is accessed via a private paved driveway that traverses the property. The applicant is proposing to extend the private driveway approximately 500 feet southwest to reach the lease areas.

The subject property and the abutting properties to the north, south and east are zoned General Rural Agriculture (GRA). These properties range from 40 to 80 acres in size and most are developed with single family homes. The property to the west of the subject site is a  $\pm 652$  acre undeveloped parcel zoned Open Space (OS) and owned by the United State of America (i.e. federal land).

The surrounding area consists of a valley with steep hill on either side. Pyramid Highway runs through the middle of the valley. The proposed monopole will be located on the hillside east of Pyramid Highway and will be approximately  $\pm 450$  feet above the road. The tower does not extend above the ridge line.

The subject property is identified as being located within an area of "High Moderate" fire danger. In addition to the high fire danger, the proposed design, width and grade of the road could result in longer response time by the fire department. To address this issue the applicant has submitted a letter with the application stating that they agreed to waive any claims against Truckee Meadows Fire Protection District (TMFPD) for damage to Verizon property due to longer fire response times. Staff has included a condition of approval to require Verizon to include Washoe County in this agreement.

## **Analysis**

The applicant states that the proposed facility is needed to bring improved wireless communication coverage to the Warm Springs and Spanish Springs area residences and along Highway 445. The proposed facility will improve call quality, signal strength, and wireless communications services in Washoe County, and will benefit residents, local business, public services and road Highway safety throughout the region.

### **Use Type:**

**Section 110.304.25 Commercial Use Types.** Commercial use types include the distribution and sale or rental of goods, and the provision of services other than those classified as civic or industrial use types.

- (i) **Communication Facilities** Communication facilities use type refers to establishments primarily engaged in the transmission and/or receiving of electromagnetic waves. Typical uses include television station, radio stations, satellite dishes, antennas and wireless communication facilities. Refer to Article 324, Communication Facilities, for subcategories of communication facilities.

Access/Grading:

In order to reach the proposed leased areas access will be provided through an existing residential driveway. The existing driveway will have to be extended approximately  $\pm 500$  feet. Grading for the road extension includes disturbing an area of  $\pm 0.44$  acres, importing  $\pm 825$  cubic yards of fill material, and excavating  $\pm 900$  cubic yards of soil. The total cut and fill of more than 1000 cubic yards of disturbed material is classified as Major Grading and requires a special use permit per WCC Article 324 Grading. This special use permit includes the approval for major grading.

Signage/Lighting:

Signage will be as required by FAA/FCC and Washoe County. There will be no "advertisement signage."

Parking:

The applicant anticipates using the existing private driveway leading to the house, which will be extended to the lease area for scheduled monthly maintenance. Because the road extension to the leased area does not provide access to any other portions of the property and is not intended for public use, the applicant is proposing to park on the road when their technicians are attending to the equipment. Therefore the applicant is requesting that the parking standards within WCC Table 110.410.10.3 be waived and that no parking spaces be required, as this is an unmanned facility.

Per WCC Section 110.810.20(e) the Board of Adjustment may vary standards of the Development Code in conjunction with the approval of the Special Use Permit. The applicant is requesting that the Board of Adjustment approve the project without the required paved parking. Staff supports the applicant's request based on the nature of the use, the fact that the site is not accessible to the public, the minimal number of site visits required to maintain the facility makes the need for paved commercial parking excessive. Staff has included a condition of approval waiving the requirement to provide paved parking.

Landscaping:

The two leased areas are located more than 1,500 feet from Pyramid Highway on the side of a mountain. Except for the area around the existing home, the 80 acre property is rocky, sloped, and undeveloped. The vegetation consists of native shrubs and grasses, but no trees. Any landscaping would not be visible to the public and requiring trees would create an unnatural appearance in this area. In addition, the subject property has residential water rights, which cannot be used for irrigation of a commercial use. Without water, it is irrational to believe that trees and landscaping could survive at this location.

Per WCC Section 110.810.20(e) the Board of Adjustment may vary standards of the Development Code in conjunction with the approval of the Special Use Permit. The applicant is requesting that the Board of Adjustment approve the project without the required landscaping. Staff supports the applicant's request based on the conditions stated above and included a condition of approval waiving requirements for landscaping.

Visual Impacts:

While the monopole and portions the road cuts will be visible from Pyramid Highway, the distance from the road combined with the undulating contours results in a reduction of visibility of the road cut and the walls enclosing the lease areas. The monopole is located on the hillside approximately 450 feet above the road, but below the ridge line. The monopole will be visible from some portion of the valley so to further reduce the visual impact staff has included a condition of approval requiring the monopole, equipment and all CMU walls surrounding the lease area to be a shade of tan or brown to blend with the color of the hillside. In accordance with the Warm Springs Area Plan, the proposed facility must "ensure that the scenic view of the wide valley floor and

surrounding ridges and mountains are not degrade while not prohibiting use by the property owner.”

The request by Verizon Wireless to add a telecommunications monopole is consistent with the standards of *Article 324 Telecommunications* of the Washoe County Development Code.



**Photo Simulations**

(Additional Photo Simulations are included as part of the application (Exhibit E)).

**WCC Sections 110.324.40 through 110.324.60**

**Section 110.324.40 Wireless Communication/Cellular Facilities: Definitions.**

- (5) Monopole Mounted Antenna. A monopole mounted antenna means a communications receiving and/or transmitting device that is attached to a ground mounted, free-standing pole that is erected for the purposes of supporting one (1) or more antennas.

Staff Comment: The applicant is proposing to install and operate a monopole mounted antenna as defined under item (5).

Section 110.324.45 Wireless Communication Cellular Facilities: Preferred Placement. As a policy of Washoe County, the following types and locations of antennas are preferred in descending ore. In the case of antennas (d) through (k), the wireless carrier must certify that alternatives (a) through (c) were not available and present a justification in the application packet indication why alternatives (a) through (c) were not chosen.



- (a) Façade Mounted Antenna.
- (b) Rooftop Mounted Antenna.
- (c) Collocation.

Staff Comment: The applicant is proposing to install option (k) Monopole Mounted Antenna. There are very few structures within the search ring and no structures tall enough to provide a clear line-of-site for proposed service area, so neither alternatives (a) or (b) were chosen. There are no other cell towers within the search ring, therefore alternative (c) was not an option.

Section 110.324.50 Wireless Communication Cellular Facilities Placement Standards. The following placement standards by type of antenna shall be complied with notwithstanding the preferred location and type of antenna enumerated in WCC 110.324:

- (e) Monopole Antenna. The placement of a monopole antenna shall comply with the following criteria:
  - (2) Antennas shall be permitted in the General Rural (GR), General Rural Agriculture (GRA) and Open Space (OS) land use designations (see Open Space limitations within this article) with the placement standards depicted in Table 110.324.50.1, Antenna Placement Standards.

Table 110.324.50.1

**ANTENNA PLACEMENT STANDARDS**

Design Standards	Distance from Residential Property						
	50'	200'	400'	600'	1,000'	1,500'	2,000'
Distance from Residentially Zoned Property or Public Paved Right of Way (closest adjacent use will be applied)							
Permitted Height of Pole	45'	50'	60'	70'	80'	90'	+100'
Supporting Mechanism for Antenna System	2*	2.5*	3*	4*	5*	6*	+7*

Note: \* = Specified number times diameter at base of pole equals allowed supporting mechanism for antenna system diameter.

Source: Washoe County Planning and Building Division

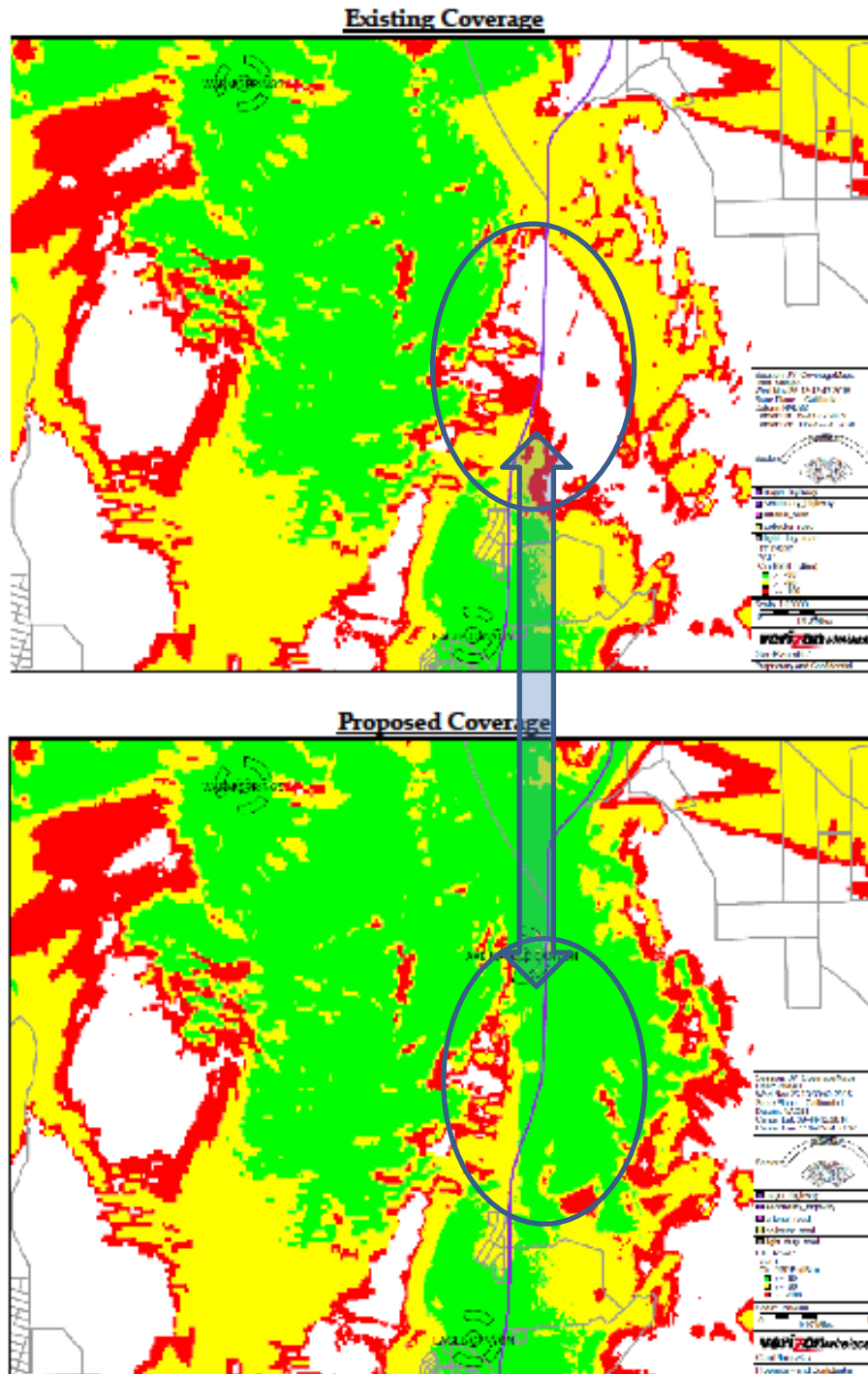
Staff Comment: The proposed monopole will be placed on a parcel of land zoned General Rural Agriculture (GRA), and is approximately 1800-feet from Pyramid Highway.

Section 110.324.55 Significant Gap Coverage. A significant gap for purposed of this article shall include a “white area” where no cellular services from carrier is available.

Table 110.324.55.1

**SIGNIFICANT GAP ANTENNA POLE HEIGHT**

Design Standards	Distance from Residential Property						
	50'	200'	400'	600'	1,000'	1,500'	2,000'
Distance from Residentially Zoned Property or Public Paved Right of Way (closest adjacent use will be applied)							
Permitted Height of Pole	45'	50'	60'	70'	80'	90'	+100'
Bonus Allowed	10'	15'	20'	25'	30'	35'	40'
Total Permitted Height of Pole	55'	65'	80'	95'	110'	125'	140'



**Coverage Plot Maps**

Staff Comment: The proposed monopole will be placed on a parcel of land zoned General Rural Agriculture (GRA), and the allowable height is 125-feet when it is located no closer than 1,500-feet from a residentially zoned parcel or publically paved right-of-way, and it fills a significant Gap in coverage. The proposed 104' monopole is approximately 1,800 feet away from the Pyramid Highway, a paved public right-of-way. The white areas on the Coverage Plot Maps indicate the gap in the service area currently and what will be provided if the facility is constructed. There are no other service provider's antennas registered in a 4 mile area.

Section 110.324.60 Wireless Communication/Cellular Facilities Permitting Requirements.

Staff comment: The permitting requirements are required as part of the building permit application process. The conditions of approval state that all permitting requirements of WCC 110.324.60 shall be include with the building permit application.

**The Warm Spring Area Plan Policies**

- WS.1.1 Protect the visual quality of the peaks and ridges surrounding the Warm Springs planning area.
- WS.1.1.1 During review of development proposals, projects will be evaluated to determine if road cuts and grading adversely affect view from the valley floor. If they do, mitigation measures such as screening, relocation, etc. will be required.
- WS.1.3 Protect the agricultural resources and preserve the scenic recourses and views of the Warm Springs planning areas as seen from the Pyramid Lake Highway. Future development should be setback a sufficient distance from Pyramid Lake Highway to ensure that the scenic view of the wide valley floor and surrounding ridges and mountains are not degrade while not prohibiting use by the property owner. Future development adjacent to Pyramid Lake Highway should complement and enhance the rural character of the planning area.

Staff Comment: While the cell tower and portions of the utility access road will be visible from portions of the valley and surrounding areas, the telecommunications facility will be approximately 1,800 feet from Pyramid Highway, will be painted a tan or brown color to blend with the surrounding area, and will not extend above the ridgeline.

**Warm Springs/Rural Citizen Advisory Board (WS/R CAB)**

The first Warm Springs/Rural CAB meeting in 2018 is scheduled for May 9. The proposed project was sent to the Citizen Advisory Board members for their review and comment. No CAB members commented on the proposal.

**Reviewing Agencies**

The following agencies/individuals received a copy of the project application for review and evaluation.

- Washoe County Community Services Department
  - Planning and Building Division
  - Engineering and Capital Projects Division
- Washoe County Health District
  - Air Quality Management Division
  - Environmental Health Services Division
- Truckee Meadows Fire Protection District
- Regional Transportation Commission
- Washoe-Storey Conservation District
- Palomino Valley General Improvement District
- Bureau of Land Management

The following is a brief **summary** received of each agency's comments and/or recommended conditions of approval and their contact information. The Conditions of Approval document is attached to this staff report and will be included with the Action Order.

- Washoe County Planning and Building Division addressed landscaping and parking requirements, visual impacts, and FCC licensure/radio frequency emissions requirements.  
**Contact: Eva Krause, 775.328.3628, [ekrause@washoecounty.us](mailto:ekrause@washoecounty.us)**
- Washoe County Engineering and Capital Projects Division addressed construction improvement plans, grading and the creation of permanent easements.  
**Contact: Leo Vesely, 775.328.2040, [lvesely@washoecounty.us](mailto:lvesely@washoecounty.us)**
- Health District, Environmental Health Services Division state the proposed location will not impact the domestic well or sewage disposal system. Environmental Health has no conditions.  
**Contact: Wesley Rubio, 775.328.2381, [wrubio@washoecounty.us](mailto:wrubio@washoecounty.us)**
- Palomino Valley General Improvement District responded as having no comment.  
**Contact: Operations Manager, 775.848.6788, [palvalqid@gmail.com](mailto:palvalqid@gmail.com)**

## **REQUIRED FINDINGS**

### **Findings required by WCC Section 110. 810.30 for a Special Use Permit:**

1. Consistency. That the proposed use is consistent with the action programs, policies, standards and maps of the Master Plan and the Warm Springs Area Plan;  
  
*Staff Comment:* Staff has reviewed the Master Plan and the Warm Springs Area Plan. The Area Plan has identified the need to protect the scenic view of the wide valley floor and surrounding ridges and mountains are not degrade while not prohibiting use by the property owner. The location of the facility away from the road but below the ridge line, along with requirement that the facility blend with the color of the surrounding area, help to maintain the scenic nature of the area.
2. Improvements. That adequate utilities, roadway improvements, sanitation, water supply, drainage, and other necessary facilities have been provided, the proposed improvements are properly related to existing and proposed roadways, and an adequate public facilities determination has been made in accordance with Division Seven of the Development Code;  
  
*Staff Comment:* The proposed project is in compliance with Division Seven.
3. Site Suitability. That the site is physically suitable a for a telecommunications facility (monopole) for the intensity of such a development;  
  
*Staff Comment:* The monopole and equipment lease areas will encumber 1,125 square feet of an 80 acre site. All construction improvements and grading plans require review and approval by Washoe County Engineering. Site improvements shall include detailed plans for site drainage, erosion control, slope stabilization and mosquito abatement.
4. Issuance Not Detrimental. That issuance of the permit will not be significantly detrimental to the public health, safety or welfare; injurious to the property or improvements of adjacent properties; or detrimental to the character of the surrounding area.  
  
*Staff Comment:* Based on the requirements of the FCC, the "Electromagnetic Frequency (RF) exposure level due to the proposed site is well below the maximum allowable by FCC Regulations. The site fully complies with FCC rules and regulations.
5. Effect on a Military Installation. Issuance of the permit will not have a detrimental effect on the location, purpose or mission of the military installation.

Staff Comment: There are no military installations within the required noticing distance of the subject property. The proposed monopole does not have a detrimental effect on any military installations.

**Findings required by Section 110.324.75, for a telecommunications facility:**

6. That the communications facility meets all the standards of Sections 110.324.40 through 110.324.60 as determined by the Director of Community Development and/or his/her authorized representative;

Staff Comment: Staff has reviewed all of the standards and conclude that propose facility will meet all the standards of WCC Sections 110.324.40 through 110.324.60.

7. That public input was considered during the public hearing review process; and

Staff Comment: The Board will hear and consider public comment during the public hearing. Under Federal Law (47 U.S.C. 332 (c) (7) (B) (iv), if the proposed telecommunications facility complies with FCC regulations, this Board cannot regulate its placement, construction, and modification based on the potential environmental effects of radio frequency emissions. Under State Law (NRS 707.575 (4) the Board "shall not consider the environmental effects of radio frequency emissions" in rendering a decision of this special use permit.

8. That the monopole or lattice tower will not unduly impact the adjacent neighborhoods or the vistas and ridgelines of the County.

Staff Comment: The monopole will be visible from the road but based on a review of the photographs and drawings in the Staff Report and Application, the proposed monopole will not unduly impact adjacent neighborhoods. The monopole will not be placed on a "protected ridgeline," and will be a color that blends in with the hillside thereby reducing the visual impacts.

**Recommendation**

Those agencies which reviewed the application recommended conditions in support of approval of the project, or provided no comment. Therefore, after a thorough analysis and review, Special Use Permit Case Number WSUP18-0001 is being recommended for approval with conditions. Staff offers the following motion for the Board's consideration.

**Motion**

I move that, after giving reasoned consideration to the information contained in the staff report and information received during the public hearing, the Washoe County Board of Adjustment approve, subject to the conditions contained in Exhibit A to the staff report, Special Use Permit Case Number WSUP18-0001 for Verizon Wireless, having made all eight findings in accordance with Washoe County Code Section 110.810.30 and 110.324.75:

1. Consistency. That the proposed use is consistent with the Warm Springs Area Plan;
2. Improvements. That adequate utilities, roadway improvements, sanitation, water supply, drainage, and other necessary facilities have been provided, the proposed improvements are properly related to existing and proposed roadways, and an adequate public facilities determination has been made in accordance with Division Seven;
3. Site Suitability. That the site is physically suitable for a telecommunications monopole with all necessary appurtenances and for the intensity of such a development;
4. Issuance Not Detrimental. That issuance of the permit will not be significantly detrimental to the public health, safety or welfare; injurious to the property or

improvements of adjacent properties; or detrimental to the character of the surrounding area;

- 5. Effect on a Military Installation. Issuance of the permit will not have a detrimental effect on the location, purpose or mission of the military installation;
- 6. Sections 110.324.40 through 110.324.60 Requirements;
- 7. Public input was considered; and,
- 8. Will not unduly impact the adjacent neighborhoods or the vistas and ridgelines of the County.

**Appeal Process**

Board of Adjustment action will be effective 10 calendar days after the written decision is filed with the Secretary to the Board of Adjustment and mailed to the applicant, unless the action is appealed to the Washoe County Board of County Commissioners, in which case the outcome of the appeal shall be determined by the Washoe County Board of County Commissioners. Any appeal must be filed in writing with the Planning and Building Division within 10 calendar days from the date the written decision is filed with the Secretary to the Board of Adjustment and mailed to the applicant.

Applicant: Sacramento Valley LP d/b/a Verizon Wireless  
 Attn: CWC  
 2009 V Street  
 Sacramento CA 95818

Property Owner: 14855 Pyramid Way Land Trust  
 c/o Renia Smith  
 PO Box 17283  
 Reno NV 89510-7283



# Conditions of Approval

Special Use Permit Case Number WSUP18-0001

The project approved under Special Use Permit Case Number WSUP18-0001 shall be carried out in accordance with the Conditions of Approval granted by the Board of Adjustment on April 5, 2018. Conditions of Approval are requirements placed on a permit or development by each reviewing agency. These Conditions of Approval may require submittal of documents, applications, fees, inspections, amendments to plans, and more. These conditions do not relieve the applicant of the obligation to obtain any other approvals and licenses from relevant authorities required under any other act.

**Unless otherwise specified**, all conditions related to the approval of this Special Use Permit shall be met or financial assurance must be provided to satisfy the conditions of approval prior to issuance of a grading or building permit. The agency responsible for determining compliance with a specific condition shall determine whether the condition must be fully completed or whether the applicant shall be offered the option of providing financial assurance. All agreements, easements, or other documentation required by these conditions shall have a copy filed with the County Engineer and the Planning and Building Division.

Compliance with the conditions of approval related to this Special Use Permit is the responsibility of the applicant, his/her successor in interest, and all owners, assignees, and occupants of the property and their successors in interest. Failure to comply with any of the conditions imposed in the approval of the Special Use Permit may result in the institution of revocation procedures.

Washoe County reserves the right to review and revise the conditions of approval related to this Special Use Permit should it be determined that a subsequent license or permit issued by Washoe County violates the intent of this approval.

For the purpose of conditions imposed by Washoe County, “may” is permissive and “shall” or “must” is mandatory.

Conditions of Approval are usually complied with at different stages of the proposed project. Those stages are typically:

- Prior to permit issuance (i.e., grading permits, building permits, etc.).
- Prior to obtaining a final inspection and/or a certificate of occupancy.
- Prior to the issuance of a business license or other permits/licenses.
- Some “Conditions of Approval” are referred to as “Operational Conditions.” These conditions must be continually complied with for the life of the project or business.

FOLLOWING ARE CONDITIONS OF APPROVAL REQUIRED BY THE REVIEWING AGENCIES. EACH CONDITION MUST BE MET TO THE SATISFACTION OF THE ISSUING AGENCY.

## **Washoe County Planning and Building Division**

1. The following conditions are requirements of the Planning and Building Division, which shall be responsible for determining compliance with these conditions.

**Contact Name – Eva Krause, (775) 328-3628 [ekrause@washoecounty.us](mailto:ekrause@washoecounty.us)**

- a. The applicant shall demonstrate substantial conformance to the plans approved as part of this special use permit.
- b. The applicant shall submit complete construction plans and building permits shall be issued within two years from the date of approval by Washoe County. The applicant shall complete construction within the time specified by the building permits.
- c. In addition to the requirements of the Building Program, the building permit application shall include all information specified in **WWC Section 110.324.60 Wireless Communication/Cellular Facilities Permitting Requirements**. Including Property Owner's assurances that the structure shall be removed if the use of the facility is discontinued for 12 months.
- d. All equipment, monopole and walls enclosing the lease sites shall be painted/stained or tinted by other means, to be a color of tan or brown to blend with the surrounding landscape.
- e. The applicant shall agree to waive any claims against Washoe County, as well as the Truckee Meadows Fire Protection District, for damages to Verizon property or equipment arising out of a longer response time due to design of the access road.
- f. The Board of Adjustment finds that due to the physical conditions of the site, including the unavailability of water for commercial use and the distance from any public road or private residence the requirement for commercial landscaping is excessive and unnatural. Therefore the Board waives all requirements for commercial landscaping surrounding the lease areas.
- g. The Board of Adjustment finds that the due to the nature of the use, that the site is not accessible to the public, and the limited number of vehicles and minimal number of site visits required by facility technicians, the requirements of the commercial parking standards is excessive. The Board waives all requirements for paved parking for the facility as proposed.
- h. A note shall be placed on all construction drawings and grading plans stating:

NOTE

Should any cairn or grave of a Native American be discovered during site development, work shall temporarily be halted at the specific site and the Sheriff's Office as well as the State Historic Preservation Office of the Department of Conservation and Natural Resources shall be immediately notified per NRS 383.170.

- i. The following **Operational Conditions** shall be required for the life of the development:
  - i. Failure to comply with the conditions of approval shall render this approval null and void.
  - ii. The lease holder for the facility shall maintain the appearance of the facility and the lease area. Maintenance shall include replace and repair of fencing, screening walls and equipment; repainting or staining of walls, tower and equipment as needed to blend with the surrounding; the removal of weeds and debris around and inside the lease areas.
  - iii. The applicant and any successors shall direct any potential purchaser and/or the special use permit to meet with the Planning and Building Division to review Conditions of Approval prior to the final sale of the site and/or the special use permit. Any subsequent purchaser/operator of the site and/or the special use



permit shall notify the Planning and Building Division of the name, address, telephone number, and contact person of the new purchaser/operator within 30 days of the final sale.

**Washoe County Engineering and Capital Projects**

2. The following conditions are requirements of the Engineering Division, which shall be responsible for determining compliance with these conditions.

**Contact Name – Leo Vesely (775) 328-2313, [lvesely@washoecounty.us](mailto:lvesely@washoecounty.us)**

- a. A complete set of construction improvement drawings, including an on-site grading plan, shall be submitted when applying for a building/grading permit. Grading shall comply with best management practices (BMP's) and shall include detailed plans for grading, site drainage, erosion control (including BMP locations and installation details), slope stabilization, and mosquito abatement. Placement or removal of any excavated materials shall be indicated on the grading plan. All grading shall comply with County Code Article 438, Grading Standards. Silts shall be controlled on-site.
- b. The applicant shall provide permanent easements for the lease area, access and utilities. A copy of the recorded easements shall be submitted to the Engineering Division prior to issuance of a building permit.
- c. All existing and proposed easements shall be shown on the site and/or grading plan. The County Engineer shall determine compliance with this condition.
- d. Per the grading code, grading shall not result in slopes in excess of, or steeper than, three horizontal to one vertical (3:1).

\*\*\* End of Conditions \*\*\*



2785 Mitchell Drive  
Building 9  
Walnut Creek, CA 94598

October 9, 2017

Denise Reynolds, Fire Chief  
Truckee Meadows Fire Protection District, Washoe County  
1001 East Ninth Street, Building D, Second Floor  
Reno, NV 89520

RE: Fire Road Design  
Verizon Wireless Cellular Facilities

- o Rolling Thunder – 5205 Wayside Road, Reno, NV
- o Axe Handle Canyon – 14855 Pyramid Way, Reno, NV

Dear Ms. Reynolds:

Thank you taking the time to meet with our site acquisition representatives on September 7, 2017. We also appreciate your flexibility regarding the access design to our proposed cellular facilities referenced above.

Pursuant to the meeting, this letter is intended to acknowledge that Verizon Wireless understands that the response time by the Truckee Meadows Fire Protection District (“Fire District”) to a fire on the Verizon Wireless Facilities may be increased due to the design width and grade slope of the access roads and Verizon agrees to waive any claims against the Fire District for damage to Verizon property or equipment arising out of a longer response time by the Fire District due to the design of the access roads.

We do appreciate your cooperation in bringing much needed cellular service to these areas. Should you have any questions or concerns, please feel free to contact me directly.

Sincerely,  
Verizon Wireless

Radha Sharma  
Real Estate Manager



# WASHOE COUNTY

## COMMUNITY SERVICES DEPARTMENT

Engineering and Capital Projects Division

*"Dedicated to Excellence in Public Service"*

1001 East 9<sup>th</sup> Street PO Box 11130 Reno, Nevada 89520 Telephone: (775) 328-2040 Fax: (775) 328-3699

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### INTEROFFICE MEMORANDUM

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DATE: February 02, 2018  
TO: Eva Krause, Planning and Building Division  
FROM: Leo R. Vesely, P.E., Engineering and Capitol Projects Division  
SUBJECT: **WSUP18-0001**  
**APN 076-272-03**  
**VERIZON WIRELESS AXE HANDLE CANYON**

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I have reviewed the referenced special use permit case and recommend the following conditions:

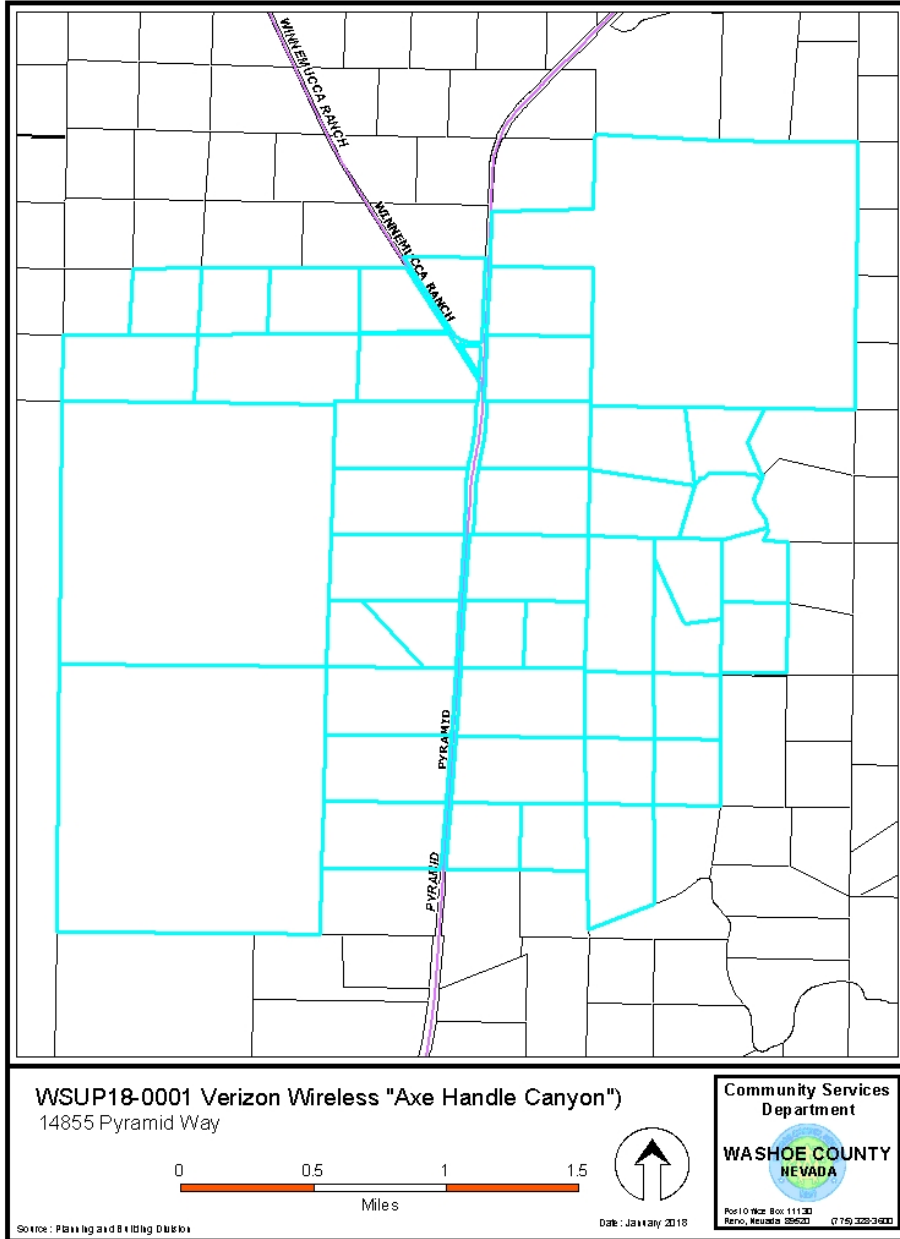
1. A complete set of construction improvement drawings, including an on-site grading plan, shall be submitted when applying for a building/grading permit. Grading shall comply with best management practices (BMP's) and shall include detailed plans for grading, site drainage, erosion control (including BMP locations and installation details), slope stabilization, and mosquito abatement. Placement or removal of any excavated materials shall be indicated on the grading plan. All grading shall comply with County Code Article 438, Grading Standards. Silts shall be controlled on-site.
2. The applicant shall provide permanent easements for the lease area, access and utilities. A copy of the recorded easements shall be submitted to the Engineering Division prior to issuance of a building permit.
3. All existing and proposed easements shall be shown on the site and/or grading plan. The County Engineer shall determine compliance with this condition.
4. Per the grading code, grading shall not result in slopes in excess of, or steeper than, three horizontal to one vertical (3:1).

LRV/Irv

**WSUP18-0001**  
**EXHIBIT C**

**Public Notice**

Pursuant to Washoe County Development Code Section 110.810.25 public notification consists of notification by mail of at least 30 separate property owners within a minimum 750 foot radius of the subject property. This proposal was noticed within a 500 foot radius of the subject property, noticing 39 separate property owners.



NOTICING MAP



January 11, 2018  
Via Overnight Mail

Washoe County  
Planning and Development Division  
1001 E. Ninth Street  
Reno, NV 89512  
Attn: Roger Pelham

**APPLICATION FOR SPECIAL USE PERMIT**

**RE: *Axe Handle Canyon* (14855 Pyramid Way, Reno, NV 89510 / APN: 076-272-03)**

Dear Mr. Pelham,

This package contains materials intended to supplement Verizon's Special Use Permit application for a new telecommunications facility at the above referenced location. All materials are included as we discussed this week. Six packets are included, containing the following materials:

- |                              |  |
|------------------------------|--|
| 1. Development Application   | 8. Title Report                              |
| 2. Owner Affidavit           | 9. Vesting Deed                              |
| 3. Supplemental Information  | 10. Treasurer Statement                      |
| 4. Project Support Statement | 11. Fire Response Acknowledgement            |
| 5. Photosimulations          | 12. Site Plans 24" x 36" (1 copy), 11" x 17" |
| 6. Coverage Maps             | (1 copy)                                     |
| 7. Radio Frequency Report    |  |

A CD is also enclosed containing these items. I am the project manager and the main point of contact for this application. Should you have any questions regarding the submittal or need additional materials, I can be reached at 916-764-2454.

Respectfully,

Michelle Ellis

Senior Land Use Planning Manager  
[MEllis@completewireless.net](mailto:MEllis@completewireless.net)

Enclosures

Community Services Department

Planning and Development

**SPECIAL USE PERMIT**

(see page 5)

**SPECIAL USE PERMIT FOR GRADING**

(see page 11)

**SPECIAL USE PERMIT FOR STABLES**

(see page 16)

**APPLICATION**



Community Services Department  
Planning and Development  
1001 E. Ninth St., Bldg. A  
Reno, NV 89520

Telephone: 775.328.3600

**WSUP18-0001**  
**EXHIBIT E**

## Washoe County Development Application

Your entire application is a public record. If you have a concern about releasing personal information, please contact Planning and Development staff at 775.328.3600.

<b>Project Information</b>		Staff Assigned Case No.: _____	
Project Name: <b>Verizon Wireless "Axe Handle Canyon"</b>			
Project Description: Verizon Wireless proposes a new unmanned wireless telecommunications facility serving residents along Hwy 445.			
Project Address: 14855 Pyramid Way, Reno, NV 89510			
Project Area (acres or square feet): 1,125 square feet			
Project Location (with point of reference to major cross streets <b>AND</b> area locator): Hillside set back on rural parcel, located at 14855 Pyramid Way. Parcel located on Hwy 445 just south of Axe Handle Canyon Rd.			
Assessor's Parcel No.(s):	Parcel Acreage:	Assessor's Parcel No.(s):	Parcel Acreage:
076-272-03	79.82		
Section(s)/Township/Range: 076-27			
<b>Indicate any previous Washoe County approvals associated with this application:</b> Case No.(s). DCA16-007			
<b>Applicant Information</b> (attach additional sheets if necessary)			
<b>Property Owner:</b>		<b>Professional Consultant:</b>	
Name: 14855 Pyramid Way Land Trust		Name: Complete Wireless Consulting, Inc.	
Address: c/o Renia Smith, PO Box 17283 Reno, NV		Address: 2009 V Street Sacramento, CA	
Zip: 89510-7283		Zip: 95818	
Phone: 951-488-7573		Phone: 916-764-2454	
Fax:		Fax: 916-313-3730	
Email: renia_smith@hotmail.com		Email: MEllis@completewireless.net	
Cell:		Cell: 916-764-2454	
Other:		Other:	
Contact Person: Renia Smith		Contact Person: Michelle Ellis, Planning Manager	
<b>Applicant/Developer:</b>		<b>Other Persons to be Contacted:</b>	
Name: Sacramento Valley LP d/b/a Verizon Wireless		Name:	
Address: Attn: CWC, 2009 V Street Sacramento, CA		Address:	
Zip: 95818		Zip:	
Phone: 916-764-2454		Phone:	
Fax: 916-313-3730		Fax:	
Email: MEllis@completewireless.net		Email:	
Cell: 916-764-2454		Cell:	
Other:		Other:	
Contact Person: Michelle Ellis		Contact Person:	
<b>For Office Use Only</b>			
Date Received:		Planning Area:	
Initial:		Master Plan Designation(s):	
County Commission District:		Regulatory Zoning(s):	
CAB(s):			

# Property Owner Affidavit

**Applicant Name:** Verizon Wireless

The receipt of this application at the time of submittal does not guarantee the application complies with all requirements of the Washoe County Development Code, the Washoe County Master Plan or the applicable area plan, the applicable regulatory zoning, or that the application is deemed complete and will be processed.

STATE OF NEVADA     )  
                                  )  
COUNTY OF WASHOE    )

Renia P. Smith  
(please print name)

being duly sworn, depose and say that I am the owner\* of the property or properties involved in this application as listed below and that the foregoing statements and answers herein contained and the information herewith submitted are in all respects complete, true and correct to the best of my knowledge and belief. I understand that no assurance or guarantee can be given by members of Planning and Development.

**(A separate Affidavit must be provided by each property owner named in the title report.)**

Assessor Parcel Number(s): 076-272-03

Printed Name Renia P. Smith

Signed *Renia P. Smith*

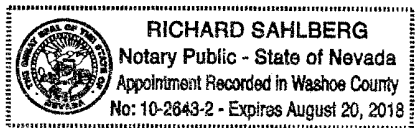
Address P.O. Box 17283

Reno, NV 89511

Subscribed and sworn to before me this 21 day of September, 2015.

(Notary Stamp)

*Richard Sahlberg*  
Notary Public in and for said county and state



My commission expires: 8/20/2018

\*Owner refers to the following: (Please mark appropriate box.)

- Owner/Trustee: One Four Eight Five Five Pyramid Way Land Trust
- Corporate Officer/Partner (Provide copy of recorded document indicating authority to sign.)
- Power of Attorney (Provide copy of Power of Attorney.)
- Owner Agent (Provide notarized letter from property owner giving legal authority to agent.)
- Property Agent (Provide copy of record document indicating authority to sign.)
- Letter from Government Agency with Stewardship



# Special Use Permit Application Supplemental Information

(All required information may be separately attached)

Chapter 110 of the Washoe County Code is commonly known as the Development Code. Specific references to special use permits may be found in Article 810, Special Use Permits.

1. What is the type of project being requested?

Verizon Wireless proposes an unmanned telecommunications facility on the parcel located at 14855 Pyramid Way. The facility is a 104' monopole to be constructed on a hillside near the center of the parcel. This application is submitted to request:

1. Special Use Permit for new wireless telecommunications facility
2. Special Use Permit for proposed grading on access road to facility
3. Variance from landscaping requirement

2. What currently developed portions of the property or existing structures are going to be used with this permit?

Verizon will utilize existing paved driveway to access facility

3. What improvements (e.g. new structures, roadway improvements, utilities, sanitation, water supply, drainage, parking, signs, etc.) will have to be constructed or installed and what is the projected time frame for the completion of each?

New 104' monopole, 1,125 sq ft of lease areas, grading at road and lease areas

4. What is the intended phasing schedule for the construction and completion of the project?

Construction will last approximately two months.

5. What physical characteristics of your location and/or premises are especially suited to deal with the impacts and the intensity of your proposed use?

Elevated hillside, clear view over Hwy 445 for excellent coverage.

6. What are the anticipated beneficial aspects or effects your project will have on adjacent properties and the community?

Improved Verizon 4G LTE coverage. Please see Project Support Statement.

7. What will you do to minimize the anticipated negative impacts or effects your project will have on adjacent properties?

No impacts on other properties anticipated.

8. Please describe operational parameters and/or voluntary conditions of approval to be imposed on the project special use permit to address community impacts:

Facility will be unmanned, technician visit 1-2 times per month.

9. How many improved parking spaces, both on-site and off-site, are available or will be provided? (Please indicate on site plan.)

No parking proposed. Facility will be unmanned.

10. What types of landscaping (e.g. shrubs, trees, fencing, painting scheme, etc.) are proposed? (Please indicate location on site plan.)

6' chain link fence with barbed wire at lease area perimeter.

11. What type of signs and lighting will be provided? On a separate sheet, show a depiction (height, width, construction materials, colors, illumination methods, lighting intensity, base landscaping, etc.) of each sign and the typical lighting standards. (Please indicate location of signs and lights on site plan.)

Down-tilted light at equipment cabinets, contact signage on fence. See site plans.

12. Are there any restrictive covenants, recorded conditions, or deed restrictions (CC&Rs) that apply to the area subject to the special use permit request? (If so, please attach a copy.)

<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No
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13. Utilities:

a. Sewer Service	N/A
b. Electrical Service	Yes, see site plans
c. Telephone Service	Yes, see site plans
d. LPG or Natural Gas Service	N/A
e. Solid Waste Disposal Service	N/A
f. Cable Television Service	N/A
g. Water Service	N/A

For most uses, the Washoe County Code, Chapter 110, Article 422, Water and Sewer Resource Requirements, requires the dedication of water rights to Washoe County. Please indicate the type and quantity of water rights you have available should dedication be required:

h. Permit #		acre-feet per year	
i. Certificate #		acre-feet per year	
j. Surface Claim #		acre-feet per year	
k. Other #		acre-feet per year	

- l. Title of those rights (as filed with the State Engineer in the Division of Water Resources of the Department of Conservation and Natural Resources):

<p>Not applicable.</p>
------------------------

14. Community Services (provided and nearest facility):

a. Fire Station	Scott Fire Protection
b. Health Care Facility	N/A
c. Elementary School	N/A
d. Middle School	N/A
e. High School	N/A
f. Parks	N/A
g. Library	N/A
h. Citifare Bus Stop	N/A

# Special Use Permit Application for Grading Supplemental Information

(All required information may be separately attached)

Chapter 110 of the Washoe County Code is commonly known as the Development Code. Specific references to special use permits may be found in Article 810, Special Use Permits. Article 438, Grading, and Article 418, Significant Hydrologic Resources, are the ordinances specifically involved in this request.

1. What is the purpose of the grading?

Extend existing access road to reach wireless facility

2. How many cubic yards of material are you proposing to excavate on site?

803

3. How many square feet of surface of the property are you disturbing?

Please see site plans

4. How many cubic yards of material are you exporting or importing? If none, how are you managing to balance the work on-site?

Importing 15,871 cubic yards

5. Is it possible to develop your property without surpassing the grading thresholds requiring a Special Use Permit? (Explain fully your answer.)

No, access road must support technicians and emergency services.

6. Has any portion of the grading shown on the plan been done previously? (If yes, explain the circumstances, the year the work was done, and who completed the work.)

No, new grading work proposed

7. Have you shown all areas on your site plan that are proposed to be disturbed by grading? (If no, explain fully your answer.)

Yes, plans cover entire parcel.



8. Can the disturbed area be seen from off-site? If yes, from which directions, and which properties or roadways?

No, road set into hillside and will not be visible from Hwy 445

9. Could neighboring properties also be served by the proposed access/grading requested (i.e. if you are creating a driveway, would it be used for access to additional neighboring properties)?

No, road extension is completely contained within landlord's parcel

10. What is the slope (Horizontal:Vertical) of the cut and fill areas proposed to be? What methods will be used to prevent erosion until the revegetation is established?

Please see site plans.

11. Are you planning any berms?

Yes

No

If yes, how tall is the berm at its highest?

12. If your property slopes and you are leveling a pad for a building, are retaining walls going to be required? If so, how high will the walls be and what is their construction (i.e. rockery, concrete, timber, manufactured block)?

Yes. Please see site plans for retaining wall details.

13. What are you proposing for visual mitigation of the work?

Road extension will be graveled and set into hillside.

14. Will the grading proposed require removal of any trees? If so, what species, how many and of what size?

No, no trees will be removed.

15. What type of revegetation seed mix are you planning to use and how many pounds per acre do you intend to broadcast? Will you use mulch and, if so, what type?

To be determined during building permit application, as directed by County.

16. How are you providing temporary irrigation to the disturbed area?

To be determined during building permit application, as directed by County.

17. Have you reviewed the revegetation plan with the Washoe Storey Conservation District? If yes, have you incorporated their suggestions?

No, N/A

18. Are there any restrictive covenants, recorded conditions, or deed restrictions (CC&Rs) that may prohibit the requested grading?

<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	If yes, please attach a copy.
------------------------------	--	-------------------------------

# PROJECT SUPPORT STATEMENT

## VERIZON WIRELESS

**SITE NAME:** AXE HANDLE CANYON

**LOCATION:** 14855 Pyramid Way, Reno, NV 89510

**APN:** 076-272-03

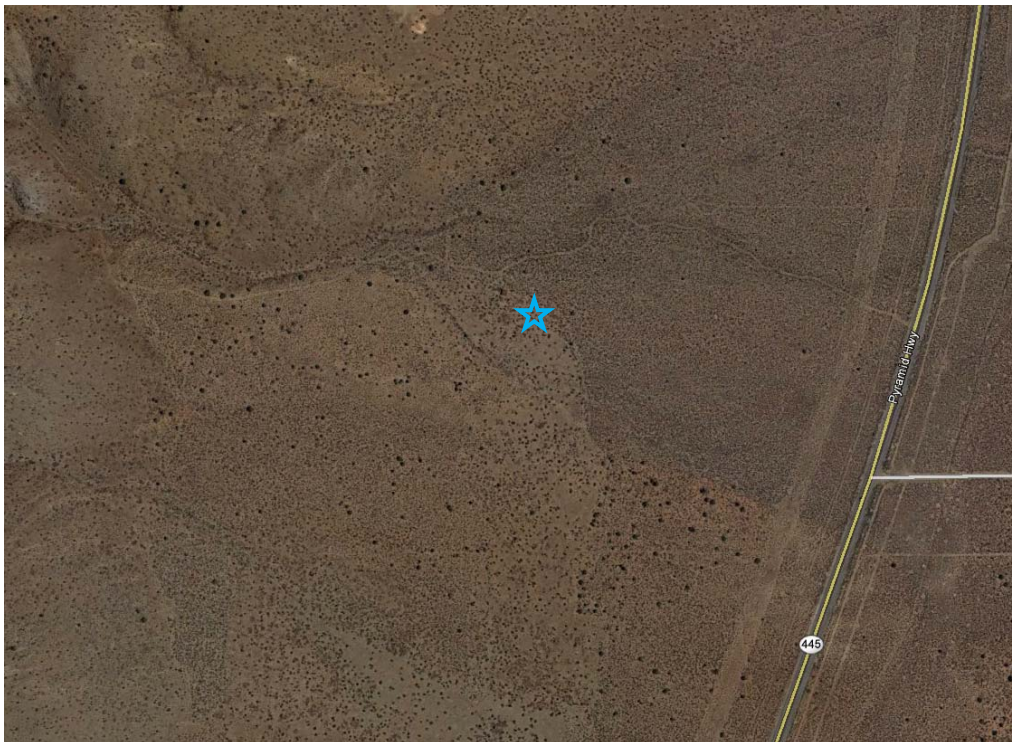
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### Introduction

Verizon Wireless is seeking to improve communications service to residences, businesses, public services, and area travelers in Washoe County. Verizon maintains a strong customer base in Washoe County and strives to improve coverage for both existing and potential customers. The proposed facility is needed to bring improved wireless communication coverage to Warm Springs and Spanish Springs area residents and along Hwy 445, south of Pyramid Lake. This project will expand Verizon's existing network and improve call quality, signal strength, and wireless connection services in Washoe County. The improved wireless service will benefit residents, local businesses, and public services, and roadway safety throughout the region.

### Location/Design

Verizon Wireless proposes a new wireless communications facility on a new 104' monopole on the property located at 14855 Pyramid Way, in unincorporated Reno. The property is located in the General Rural Agricultural (GRA) zone and is largely undeveloped. Surrounding parcels are zoned GRA and General Rural (GR). The nearest residentially zoned property is approximately 1.59 miles from the proposed facility.



### **Project Description**

The proposed facility consists of six (6) Verizon Wireless panel antennas, to be installed on a proposed 104’ monopole. A 25’ by 25’ monopole lease area will be surrounded by a 6’ chain link fence with barbed wire and a CMU wall. A separate 25’ by 20’ equipment lease area will be surrounded by similar fencing, and will contain outdoor equipment cabinets on a new concrete pad, as well as a standby diesel generator. Power and telecommunications cables will be installed underground between the two lease areas. Verizon will utilize an existing paved driveway to access the site, and proposes additional grading work on the western portion of the road. The unmanned facility will provide enhanced wireless network coverage 24 hours a day, 7 days a week.

### **Public Benefits of Improved Wireless Service**

Modern life has become increasingly dependent upon wireless communications. Wireless access is critical to many facets of everyday life, such as safety, recreation, and commerce. This site will allow current and future Verizon Wireless customers to have access to wireless services in the areas shown on the Coverage Plots included in this application. Additionally, this site will serve as a backup to the existing landline service in the area and will provide improved wireless communication, which is essential to first responders, community safety, local businesses and area residents. As a backup system to traditional landline phone service, mobile phones have proven to be extremely important during natural disasters and other catastrophes.



### **Aesthetic Impacts**

Verizon is proposing a slim monopole, of similar height and character to other utility poles and structures in the area. The height of pole and size of lease area will provide other carriers with opportunities for future co-location. Verizon Wireless has carefully chosen a location that will minimize any visual impact to the surrounding area. The facility will be located on a hillside deep within the parcel, set back significantly from Hwy 445. Ground equipment will be enclosed within outdoor equipment cabinets and screened from view, and equipment areas will be surrounded by security fencing.

The proposed facility height complies with the County’s development standards for wireless facilities in the General Rural Agricultural zoning designation. Because of the surrounding topography, the proposed facility needs to be a total of 104’ for the signal to reach the intended service area. The proposed facility has been designed at its minimum functional height.

**Statement of Commitment to Allow Co-location**

The proposed facility has been designed in a manner that will structurally accommodate additional antennas and future co-location. Verizon Wireless welcomes other carriers to co-locate on their facilities whenever possible.

**Alternative Site Analysis**

The selection of a location for a wireless telecommunications facility that is needed to improve wireless coverage is dependent upon many factors, such as: topography, zoning regulations, existing structures, co-location opportunities, available utilities, access, and the existence of a willing landlord. Wireless communication utilizes line-of-sight technology that requires facilities to be in relative close proximity to the wireless handsets to be served. Each proposed site is unique and must be investigated and evaluated on its own terms.

The proposed coverage area consists of agricultural and residential uses in Washoe County. Verizon strives to minimize visual and acoustic impacts for each facility and seeks to incorporate ways to preserve the local community character to the greatest extent feasible at all stages of site selection and the design process. The proposed location best serves the interest of Washoe County, the Warm Springs area, and the Spanish Springs area because it is the least intrusive means available to improve service. The process that Verizon implements to identify the least intrusive location is outlined below.

**Selection Process and Candidates Considered**

In April 2015, Verizon Wireless determined that the service objectives discussed above must be met. After establishing the need for the proposed facility, Verizon set out to identify the least intrusive means of achieving the necessary service objective. A total of twelve candidates were considered prior to selecting the proposed location. Verizon begins its process by identifying a search area called a "search ring" (see image below) and a required centerline height.



The search ring represents the area within which a facility can be located to achieve the desired coverage objective. The centerline height of 100' represents the required height of the antennas to produce the desired coverage. After reviewing the County's zoning regulations, the next step is to identify any existing towers within the search ring that could allow for co-location.

In this case, Verizon determined a new tower must be constructed to adequately meet its coverage goals in this search ring. Verizon identified several potential alternative sites prior to selecting the proposed location. Below is a list of the candidate properties that were considered for the proposed facility, as well as an explanation as to why each site was not selected:

1. **Mager** (400 Descanso Ln / APN 076-281-05)  
Verizon investigated this site for a new monopole. This candidate is located in the southeastern portion of the search ring, and the property owner was interested in leasing space to Verizon. This candidate was not selected because the proposed candidate (14855 Pyramid Way) better achieves Verizon's coverage objectives for this search ring. Mager covers some of Verizon's objectives, but less effectively than the proposed site.
2. **Bubbico** (14655 Pyramid Way / APN 076-161-01)  
Verizon investigated this site for a new monopole. This candidate is located in the northern portion of the search ring, and the property owner was interested in leasing space to Verizon. This candidate was not selected by Verizon because the proposed candidate (14855 Pyramid Way) better achieves Verizon's coverage objectives for this search ring. Bubbico remains in a back-up position.
3. **Cabral** (14455 Pyramid Way / APN 076-161-03)  
Verizon investigated this site for a new monopole. The property owner was interested in leasing space to Verizon. However, Verizon's radio frequency engineer rejected this

candidate because it offers only a limited view of the road to the south, due to terrain blockage.

**4. Collins** (365 Cabrillo Ln / APN 076-282-03)

Verizon investigated this site for a new monopole. The landlord did not respond to contact attempts, including two interest letters and phone calls.

**5. Eleftheriades** (14955 Pyramid Way / APN 076-272-07)

Verizon investigated this site for a new monopole. The property owner was interested in leasing space to Verizon, but was very slow to respond to multiple contact attempts. The candidate was not preferred by Verizon’s radio frequency engineer due to its lower elevation.

**6. Frontage 177 LLC** (Pyramid Way / APN 076-172-03)

Verizon investigated this site for a new monopole. The landlord did not respond to contact attempts, including two interest letters and phone calls.

**7. Iacometti** (15000 Pyramid Way / APN 076-271-05)

Verizon investigated this site for a new monopole. The landlord did not respond to contact attempts, including two interest letters and phone calls.

**8. Mundt** (15100 Pyramid Way / APN 076-271-06)

Verizon investigated this site for a new monopole. The landlord did not respond to contact attempts, including two interest letters and phone calls.

**9. Newmyer** (14175 Pyramid Way / APN 076-172-09)

Verizon investigated this site for a new monopole. However, this candidate was rejected by Verizon’s radio frequency engineer because the site does not offer a good view to the north, due to terrain blockage.

**10. Saxon** (14155 Pyramid Way / APN 076-172-08)

Verizon investigated this site for a new monopole. However, this candidate was rejected by Verizon’s radio frequency engineer because the site does not offer a good view to the north, due to terrain blockage.

**11. Scalise** (14555 Pyramid Way / APN 076-161-02)

Verizon investigated this site for a new monopole. The landlord did not respond to contact attempts, including two interest letters and phone calls.



Project Support Statement – Verizon Wireless ‘Axe Handle Canyon’

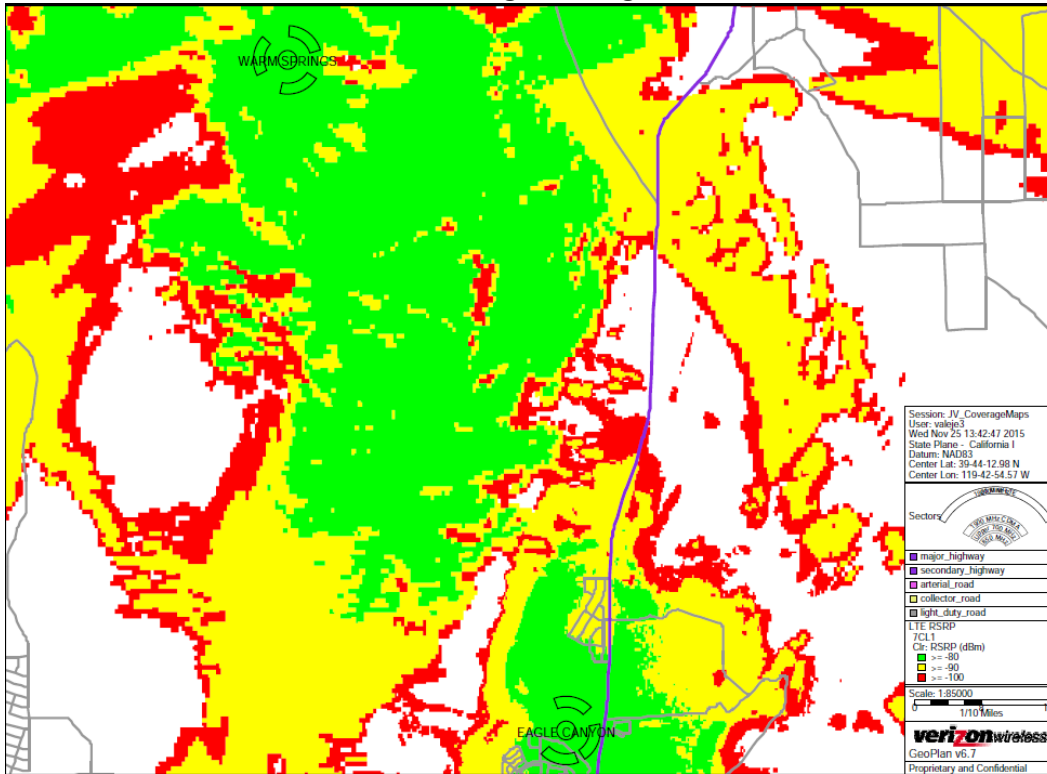
The map below shows the locations of each of the properties listed above.



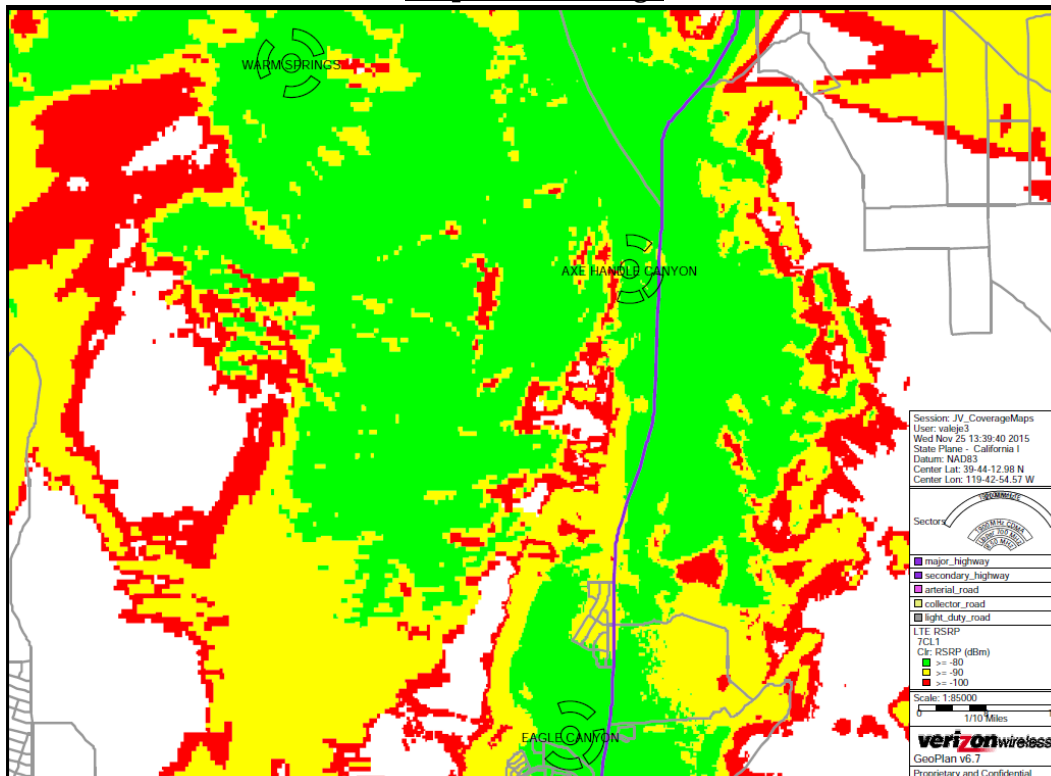
The proposed facility, labeled on the image above as “14855 Pyramid Way Land Trust,” was selected by Verizon’s radio frequency engineer as the best candidate in this search ring for achieving Verizon’s coverage objectives, and the least intrusive option. 14855 Pyramid Way offers a lease area significantly removed from Hwy 445, and an elevated hillside location with excellent views over the area, looking both north and south along Hwy 445.

Coverage Area

Existing Coverage



Proposed Coverage



### **Safety Benefits of Improved Wireless Service**

Verizon Wireless offers its customers multiple services such as voice calls, text messaging, mobile email, picture/video messaging, mobile web, navigation, broadband access, V CAST, and E911 services. Mobile phone use has become an extremely important tool for first responders and serves as a back-up system in the event of a natural disaster.

### **Compliance with FCC and FAA Standards**

This project will not interfere with any TV, radio, telephone, satellite, or any other signals. Any interference would be against federal law and a violation of Verizon Wireless’s FCC License. Unless tower lighting is required by the FAA, the only lighting on the facility will be a hooded and down-titled security light near the equipment cabinets.

### **Maintenance and Standby Generator Testing**

Verizon Wireless installs a standby generator and batteries at all of its cell sites. The generator and batteries play a vital role in Verizon’s emergency and disaster preparedness plan. In the event of a power outage, Verizon’s communications equipment will first transition to the back-up batteries. The batteries can run the site for a few hours depending on the demand placed on the equipment. Should the power outage extend beyond the capacity of the batteries, the back-up generator will automatically start and continue to run the site for up to 24 hours. The standby generator will operate for approximately 15 minutes per week for maintenance purposes, during the daytime. Back-up batteries and generators allow Verizon sites to continue providing valuable communications services in the event of a power outage, natural disaster or other emergency. Following construction, the security fence will include a small sign indicating the facility owner and a 24-hour emergency telephone number.

### **Construction Schedule**

The construction of the facility will be in compliance with all local rules and regulations. The crew size will range from two to ten individuals. The construction phase of the project will last approximately two months and will not exceed acceptable noise levels.

### **Landscaping**

No landscaping is proposed at the facility. The lease area is over 1,599’ from the nearest road, and is not visible to the public. In an attempt to conserve water and to reduce ongoing maintenance at unmanned facilities, Verizon avoids live landscaping whenever possible.

### **Notice of Actions Affecting Development Permit**

Verizon Wireless requests notice of any proposal to adopt or amend the: general plan, specific plan, zoning ordinance, ordinance(s) affecting building or grading permits that would in any manner affect this development permit. Any such notice may be sent to 2009 V Street, Sacramento, CA 95818.



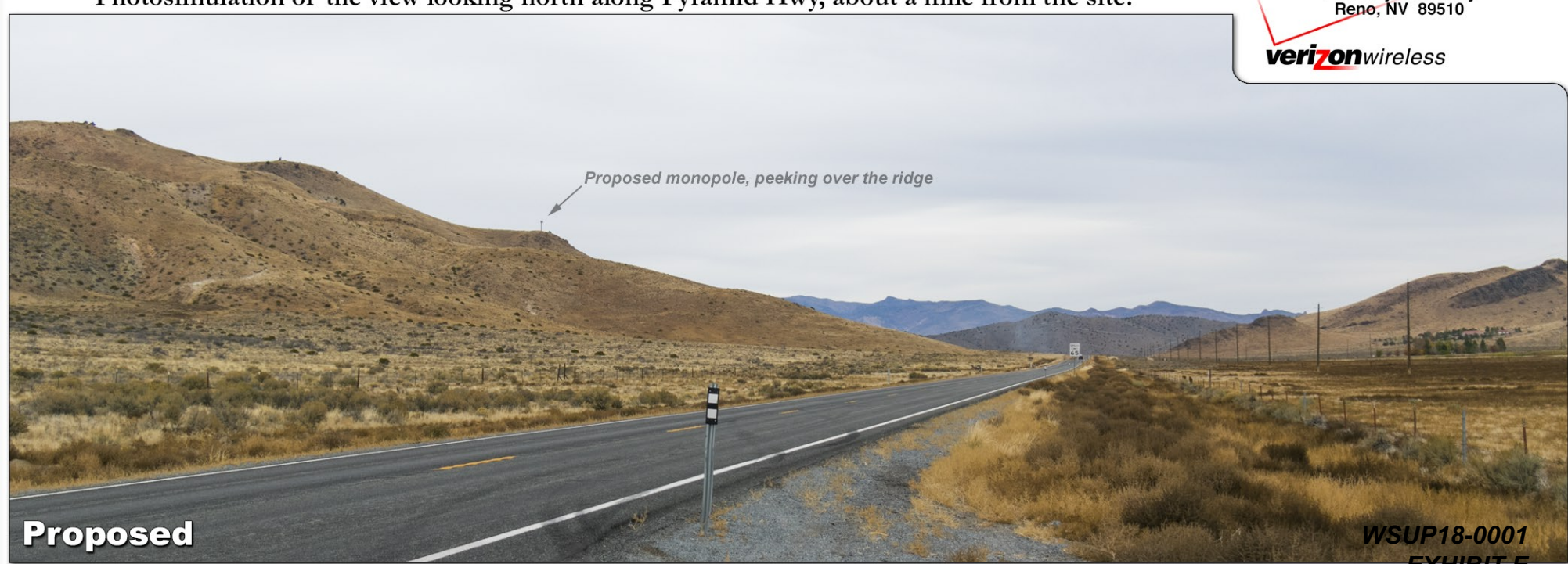
**Existing**

Photosimulation of the view looking north along Pyramid Hwy, about a mile from the site.

**Axe Handle Canyon**

14855 Pyramid Way  
Reno, NV 89510

**verizon**wireless



*Proposed monopole, peeking over the ridge*

**Proposed**

**WSUP18-0001  
EXHIBIT E**



**Existing**

Photosimulation of the view looking south from the nearest point along Winnemucca Ranch Road.

**Axe Handle Canyon**

14855 Pyramid Way  
Reno, NV 89510

**verizon**wireless



*Proposed 104 ft monopole*

**Proposed**

**WSUP18-0001  
EXHIBIT E**



**Existing**

Photosimulation of the view looking southwest from Pyramid Hwy.

**Axe Handle Canyon**

14855 Pyramid Way  
Reno, NV 89510



*Proposed 104 ft monopole*

**Proposed**

**WSUP18-0001**

**EXHIBIT E**



**Existing**

Photomontage of the view looking northwest from across Pyramid Hwy.

**Axe Handle Canyon**

14855 Pyramid Way  
Reno, NV 89510



**Proposed**

**WSUP18-0001  
EXHIBIT E**

**Verizon Wireless • Proposed Base Station (Site No. 296901 “Axe Handle Canyon”)  
14855 Pyramid Way • Reno, Nevada**

**Statement of Hammett & Edison, Inc., Consulting Engineers**

The firm of Hammett & Edison, Inc., Consulting Engineers, has been retained on behalf of Verizon Wireless, a personal wireless telecommunications carrier, to evaluate the base station (Site No. 296901 “Axe Handle Canyon”) proposed to be located at 14855 Pyramid Way in Reno, Nevada, for compliance with appropriate guidelines limiting human exposure to radio frequency (“RF”) electromagnetic fields.

**Executive Summary**

Verizon proposes to install directional panel antennas on a tall pole to be located at 14855 Pyramid Way in Reno. The proposed operation will comply with the FCC guidelines limiting public exposure to RF energy.

**Prevailing Exposure Standards**

The U.S. Congress requires that the Federal Communications Commission (“FCC”) evaluate its actions for possible significant impact on the environment. A summary of the FCC’s exposure limits is shown in Figure 1. These limits apply for continuous exposures and are intended to provide a prudent margin of safety for all persons, regardless of age, gender, size, or health. The most restrictive FCC limit for exposures of unlimited duration to radio frequency energy for several personal wireless services are as follows:

Wireless Service	Frequency Band	Occupational Limit	Public Limit
Microwave (Point-to-Point)	5–80 GHz	5.00 mW/cm <sup>2</sup>	1.00 mW/cm <sup>2</sup>
WiFi (and unlicensed uses)	2–6	5.00	1.00
BRS (Broadband Radio)	2,600 MHz	5.00	1.00
WCS (Wireless Communication)	2,300	5.00	1.00
AWS (Advanced Wireless)	2,100	5.00	1.00
PCS (Personal Communication)	1,950	5.00	1.00
Cellular	870	2.90	0.58
SMR (Specialized Mobile Radio)	855	2.85	0.57
700 MHz	700	2.40	0.48
[most restrictive frequency range]	30–300	1.00	0.20

**General Facility Requirements**

Base stations typically consist of two distinct parts: the electronic transceivers (also called “radios” or “channels”) that are connected to the traditional wired telephone lines, and the passive antennas that send the wireless signals created by the radios out to be received by individual subscriber units. The transceivers are often located at ground level and are connected to the antennas by coaxial cables. A small antenna for reception of GPS signals is also required, mounted with a clear view of the sky.



**Verizon Wireless • Proposed Base Station (Site No. 296901 “Axe Handle Canyon”)  
14855 Pyramid Way • Reno, Nevada**

Because of the short wavelength of the frequencies assigned by the FCC for wireless services, the antennas require line-of-sight paths for their signals to propagate well and so are installed at some height above ground. The antennas are designed to concentrate their energy toward the horizon, with very little energy wasted toward the sky or the ground. This means that it is generally not possible for exposure conditions to approach the maximum permissible exposure limits without being physically very near the antennas.

**Computer Modeling Method**

The FCC provides direction for determining compliance in its Office of Engineering and Technology Bulletin No. 65, “Evaluating Compliance with FCC-Specified Guidelines for Human Exposure to Radio Frequency Radiation,” dated August 1997. Figure 2 describes the calculation methodologies, reflecting the facts that a directional antenna’s radiation pattern is not fully formed at locations very close by (the “near-field” effect) and that at greater distances the power level from an energy source decreases with the square of the distance from it (the “inverse square law”). The conservative nature of this method for evaluating exposure conditions has been verified by numerous field tests.

**Site and Facility Description**

Based upon information provided by Verizon, including zoning drawings by MST Architects, Inc., dated November 13, 2015, it is proposed to install six Andrew Model SBNHH-1D45C directional panel antennas on a new 104-foot steel pole to be sited about 500 feet south of the residence on the 75± acre parcel located at 14855 Pyramid Way in unincorporated Washoe County near Reno. The antennas would employ no downtilt, would be mounted at an effective height of about 100 feet above ground, and would be oriented in pairs toward 20°T, 125°T, and 180°T. The maximum effective radiated power in any direction would be 18,480 watts, representing simultaneous operation at 7,210 watts for AWS, 6,760 watts for PCS, and 4,510 watts for 700 MHz service; no operation on cellular frequencies is presently proposed from this site. Also proposed to be mounted lower on the pole are two microwave “dish” antennas, for interconnection of this site with others in the Verizon network. There are reported no other wireless telecommunications base stations at the site or nearby.

**Study Results**

For a person anywhere at ground, the maximum RF exposure level due to the proposed Verizon operation, including the contribution of the microwave antennas, is calculated to be 0.0048 mW/cm<sup>2</sup>, which is 0.53% of the applicable public exposure limit. The maximum calculated level at the second-floor elevation of the nearby residence is 0.18% of the public exposure limit. It should be noted that these results include several “worst-case” assumptions and therefore are expected to overstate actual power density levels from the proposed operation.

**Verizon Wireless • Proposed Base Station (Site No. 296901 “Axe Handle Canyon”)  
14855 Pyramid Way • Reno, Nevada**

**No Recommended Mitigation Measures**

Due to their mounting location and height, the Verizon antennas would not be accessible to unauthorized persons, and so no mitigation measures are necessary to comply with the FCC public exposure guidelines. It is presumed that Verizon will, as an FCC licensee, take adequate steps to ensure that its employees or contractors receive appropriate training and comply with FCC occupational exposure guidelines whenever work is required near the antennas themselves.

**Conclusion**

Based on the information and analysis above, it is the undersigned’s professional opinion that operation of the base station proposed by Verizon Wireless at 14855 Pyramid Way in Reno, Nevada, will comply with the prevailing standards for limiting public exposure to radio frequency energy and, therefore, will not for this reason cause a significant impact on the environment. The highest calculated level in publicly accessible areas is much less than the prevailing standards allow for exposures of unlimited duration. This finding is consistent with measurements of actual exposure conditions taken at other operating base stations.

**Authorship**

The undersigned author of this statement is a qualified Professional Engineer, holding California Registration Nos. E-13026 and M-20676, which expire on June 30, 2017. This work has been carried out under his direction, and all statements are true and correct of his own knowledge except, where noted, when data has been supplied by others, which data he believes to be correct.



*William F. Hammett*

William F. Hammett, P.E.

707/996-5200

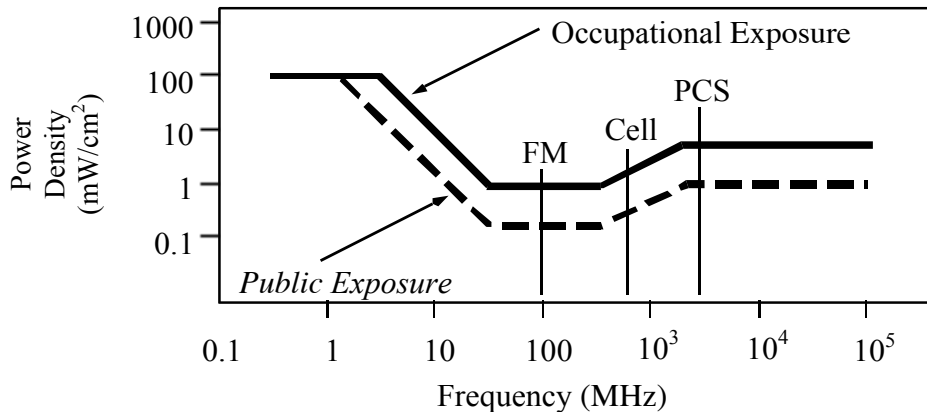
December 18, 2015

## FCC Radio Frequency Protection Guide

The U.S. Congress required (1996 Telecom Act) the Federal Communications Commission (“FCC”) to adopt a nationwide human exposure standard to ensure that its licensees do not, cumulatively, have a significant impact on the environment. The FCC adopted the limits from Report No. 86, “Biological Effects and Exposure Criteria for Radiofrequency Electromagnetic Fields,” published in 1986 by the Congressionally chartered National Council on Radiation Protection and Measurements (“NCRP”). Separate limits apply for occupational and public exposure conditions, with the latter limits generally five times more restrictive. The more recent standard, developed by the Institute of Electrical and Electronics Engineers and approved as American National Standard ANSI/IEEE C95.1-2006, “Safety Levels with Respect to Human Exposure to Radio Frequency Electromagnetic Fields, 3 kHz to 300 GHz,” includes similar limits. These limits apply for continuous exposures from all sources and are intended to provide a prudent margin of safety for all persons, regardless of age, gender, size, or health.

As shown in the table and chart below, separate limits apply for occupational and public exposure conditions, with the latter limits (in *italics* and/or dashed) up to five times more restrictive:

Frequency Applicable Range (MHz)	Electromagnetic Fields (f is frequency of emission in MHz)					
	Electric Field Strength (V/m)		Magnetic Field Strength (A/m)		Equivalent Far-Field Power Density (mW/cm <sup>2</sup> )	
0.3 – 1.34	614	<i>614</i>	1.63	<i>1.63</i>	100	<i>100</i>
1.34 – 3.0	614	<i>823.8/f</i>	1.63	<i>2.19/f</i>	100	<i>180/f<sup>2</sup></i>
3.0 – 30	1842/f	<i>823.8/f</i>	4.89/f	<i>2.19/f</i>	900/f <sup>2</sup>	<i>180/f<sup>2</sup></i>
30 – 300	61.4	<i>27.5</i>	0.163	<i>0.0729</i>	1.0	<i>0.2</i>
300 – 1,500	3.54√f	<i>1.59√f</i>	√f/106	<i>√f/238</i>	f/300	<i>f/1500</i>
1,500 – 100,000	137	<i>61.4</i>	0.364	<i>0.163</i>	5.0	<i>1.0</i>



Higher levels are allowed for short periods of time, such that total exposure levels averaged over six or thirty minutes, for occupational or public settings, respectively, do not exceed the limits, and higher levels also are allowed for exposures to small areas, such that the spatially averaged levels do not exceed the limits. However, neither of these allowances is incorporated in the conservative calculation formulas in the FCC Office of Engineering and Technology Bulletin No. 65 (August 1997) for projecting field levels. Hammett & Edison has built those formulas into a proprietary program that calculates, at each location on an arbitrary rectangular grid, the total expected power density from any number of individual radio sources. The program allows for the description of buildings and uneven terrain, if required to obtain more accurate projections.



## RFR.CALC™ Calculation Methodology

### Assessment by Calculation of Compliance with FCC Exposure Guidelines

The U.S. Congress required (1996 Telecom Act) the Federal Communications Commission (“FCC”) to adopt a nationwide human exposure standard to ensure that its licensees do not, cumulatively, have a significant impact on the environment. The maximum permissible exposure limits adopted by the FCC (see Figure 1) apply for continuous exposures from all sources and are intended to provide a prudent margin of safety for all persons, regardless of age, gender, size, or health. Higher levels are allowed for short periods of time, such that total exposure levels averaged over six or thirty minutes, for occupational or public settings, respectively, do not exceed the limits.

#### Near Field.

Prediction methods have been developed for the near field zone of panel (directional) and whip (omnidirectional) antennas, typical at wireless telecommunications base stations, as well as dish (aperture) antennas, typically used for microwave links. The antenna patterns are not fully formed in the near field at these antennas, and the FCC Office of Engineering and Technology Bulletin No. 65 (August 1997) gives suitable formulas for calculating power density within such zones.

For a panel or whip antenna, power density  $S = \frac{180}{\theta_{BW}} \times \frac{0.1 \times P_{net}}{\pi \times D \times h}$ , in mW/cm<sup>2</sup>,

and for an aperture antenna, maximum power density  $S_{max} = \frac{0.1 \times 16 \times \eta \times P_{net}}{\pi \times h^2}$ , in mW/cm<sup>2</sup>,

where  $\theta_{BW}$  = half-power beamwidth of the antenna, in degrees, and  
 $P_{net}$  = net power input to the antenna, in watts,  
 $D$  = distance from antenna, in meters,  
 $h$  = aperture height of the antenna, in meters, and  
 $\eta$  = aperture efficiency (unitless, typically 0.5-0.8).

The factor of 0.1 in the numerators converts to the desired units of power density.

#### Far Field.

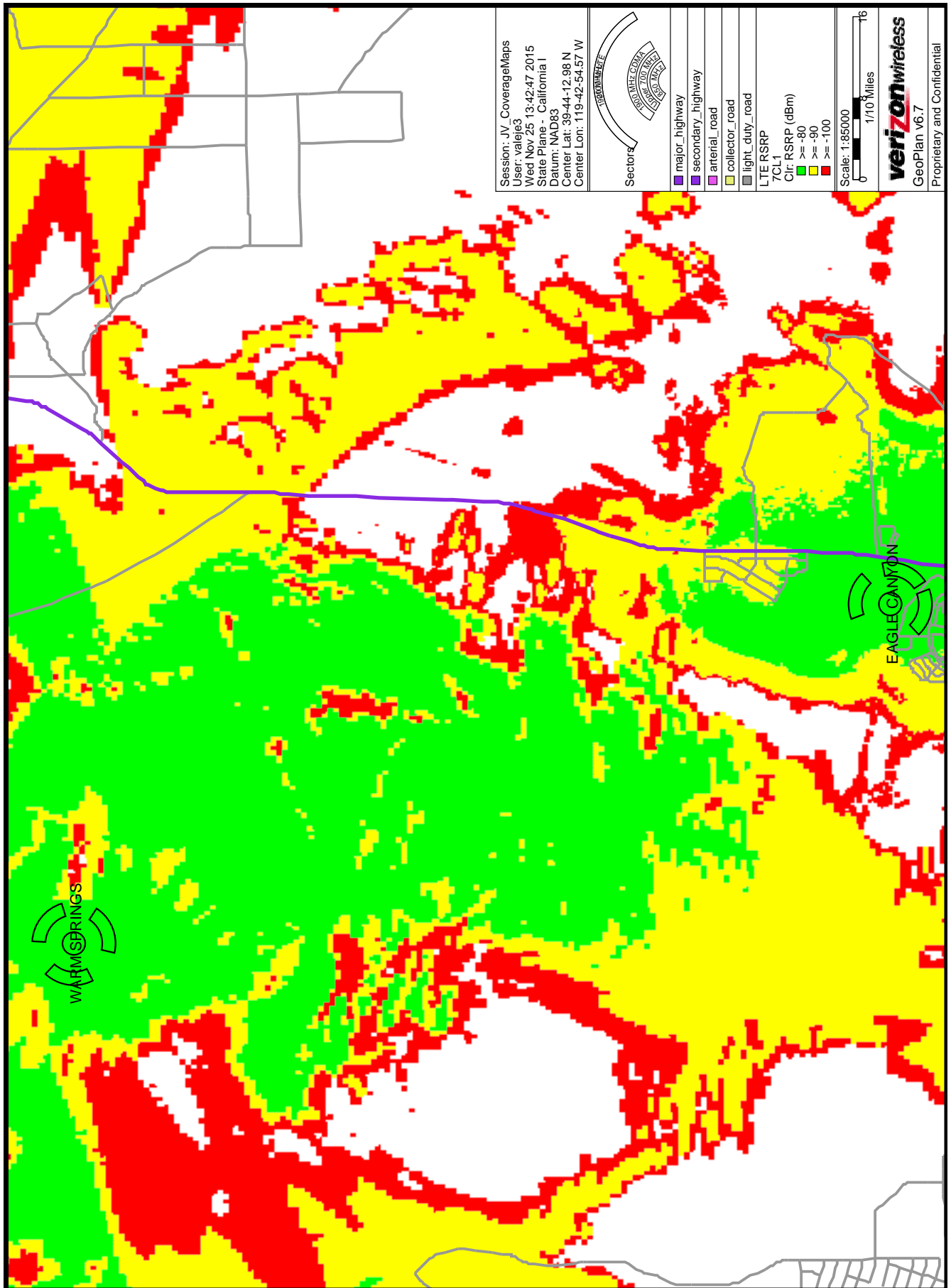
OET-65 gives this formula for calculating power density in the far field of an individual RF source:

power density  $S = \frac{2.56 \times 1.64 \times 100 \times RFF^2 \times ERP}{4 \times \pi \times D^2}$ , in mW/cm<sup>2</sup>,

where ERP = total ERP (all polarizations), in kilowatts,  
RFF = relative field factor at the direction to the actual point of calculation, and  
D = distance from the center of radiation to the point of calculation, in meters.

The factor of 2.56 accounts for the increase in power density due to ground reflection, assuming a reflection coefficient of 1.6 (1.6 x 1.6 = 2.56). The factor of 1.64 is the gain of a half-wave dipole relative to an isotropic radiator. The factor of 100 in the numerator converts to the desired units of power density. This formula has been built into a proprietary program that calculates, at each location on an arbitrary rectangular grid, the total expected power density from any number of individual radiation sources. The program also allows for the description of uneven terrain in the vicinity, to obtain more accurate projections.





Session: JV\_CoverageMaps  
 User: vateje3  
 Wed Nov 25 13:42:47 2015  
 State Plane - California 1  
 Datum: NAD83  
 Center Lat: 39-44-12.98 N  
 Center Lon: 119-42-54.57 W



- Sectors
- major\_highway
  - secondary\_highway
  - arterial\_road
  - collector\_road
  - light\_duty\_road

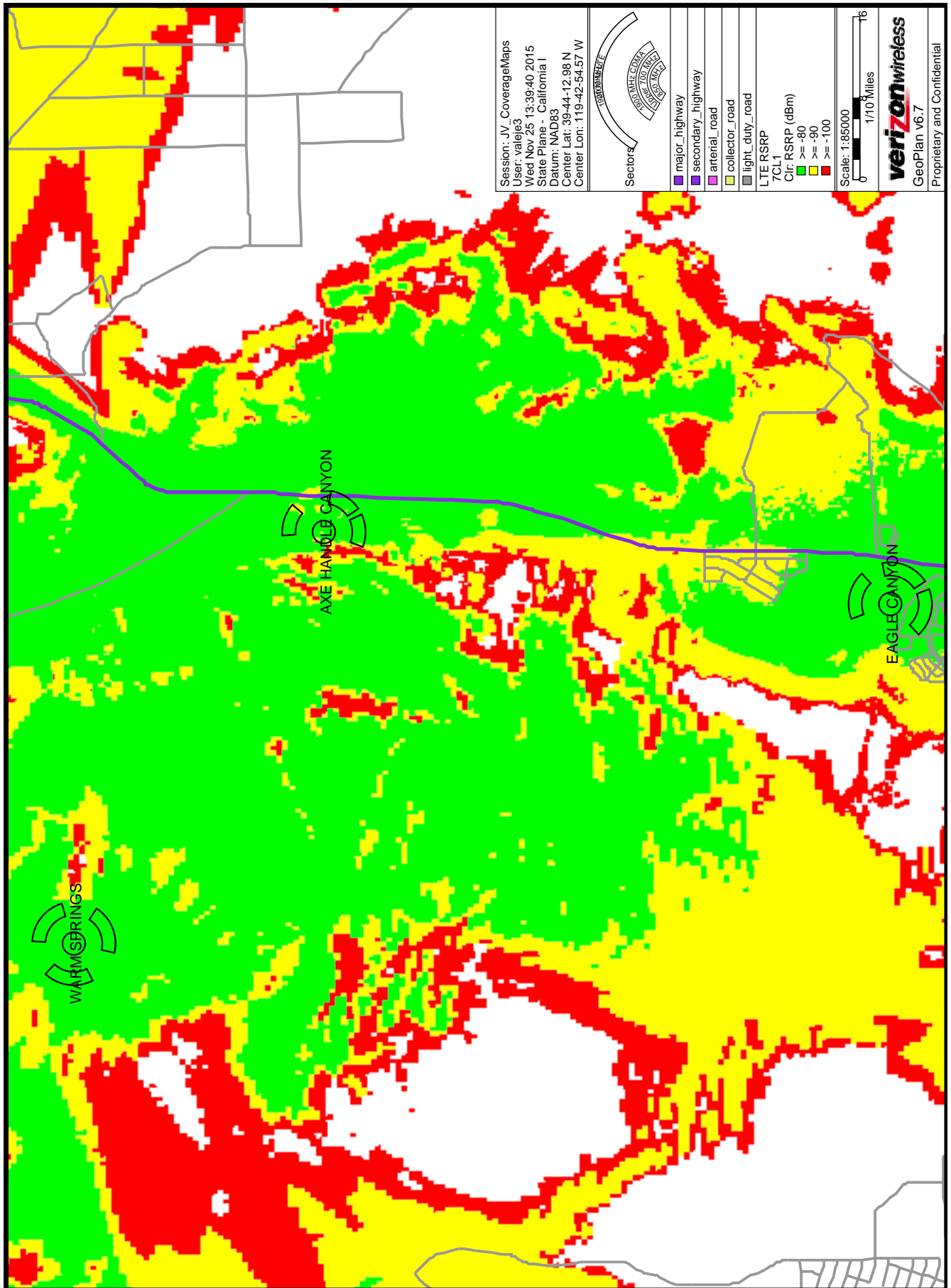
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 >= -100

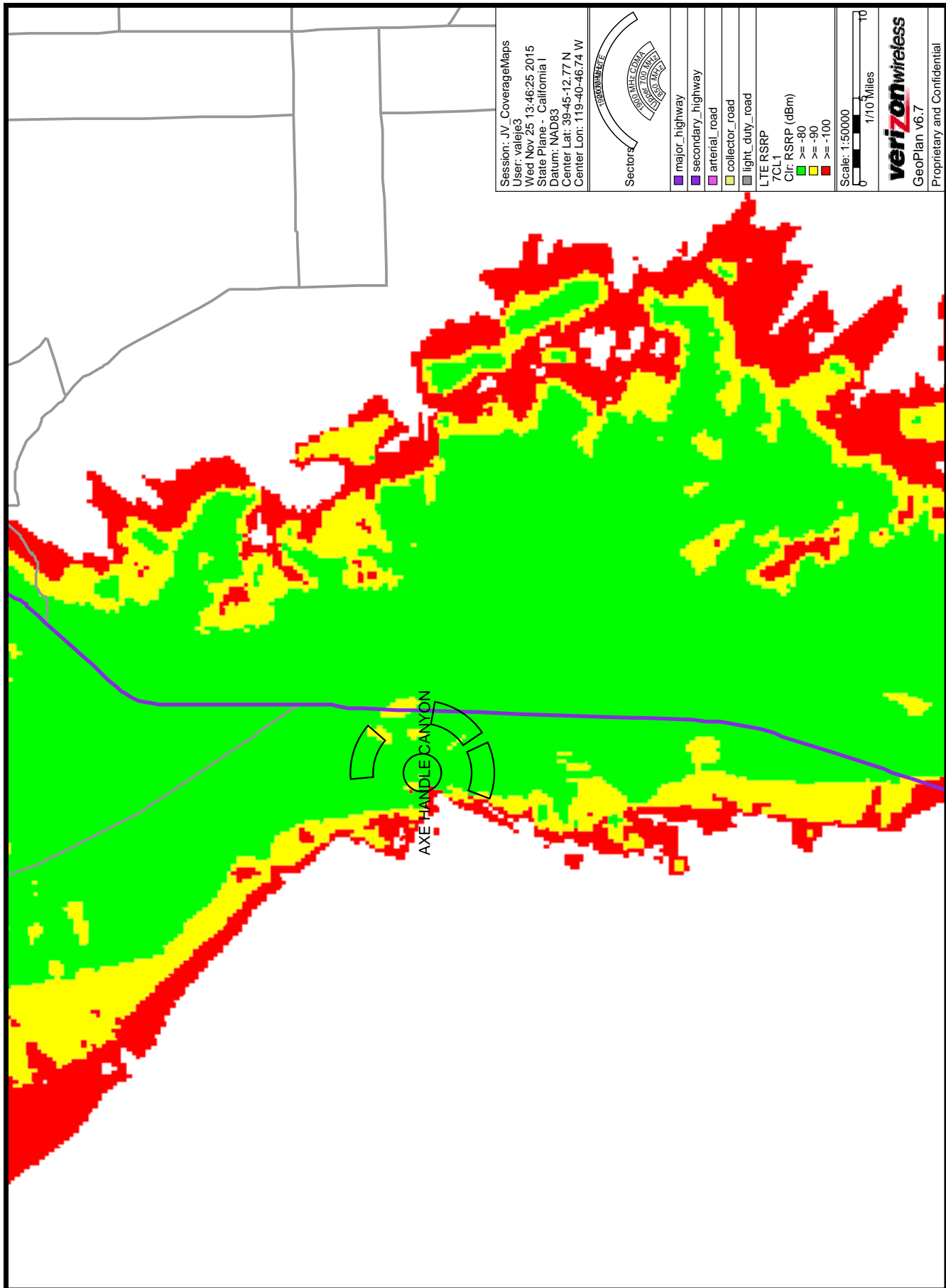
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 0 1/10 Miles 16

**verizon**wireless  
 GeoPlan v6.7  
 Proprietary and Confidential

EAGLE CANYON

WARM SPRINGS





Escrow No.: 78378-NH  
APN: 076-272-03  
R.P.T.T. \$3,628.50  
ESCROW NO: 78378-NH

WHEN RECORDED MAIL TO and MAIL TAX  
STATEMENT TO:  
THOMAS MAXWELL PRENTICE  
31202 COUNTRYSIDE LANE  
CASTAIC, CA 91384

**DOC # 3486311**

01/12/2007 04:43:04 PM  
Requested By  
FOUNDERS TITLE COMPANY OF NEVADA  
Washoe County Recorder  
Kathryn L. Burke - Recorder  
Fee: \$15.00 RPTT: \$3,628.50  
Page 1 of 2



**GRANT, BARGAIN, SALE DEED**

THIS INDENTURE WITNESSETH: That Shon Berg and Lisa Berg, *husband and wife as joint tenants*  
In consideration of \$10.00, the receipt of which is hereby acknowledged, do hereby Grant, Bargain, Sell and Convey to *RENIA*  
~~Thomas Maxwell Prentice~~ *Renia* P. Smith, as Trustee of the One Four Eight Five Five Pyramid Way Land Trust, dated January 12, 2007  
all that real property situated in the City of Sparks, County of Washoe, State of Nevada, described as follows:

See Exhibit A attached hereto and made a part hereof.

Together with all and singular the tenements, hereditaments and appurtenances thereunto belonging or in anywise appertaining.

*[Signature]*

Shon Berg

*[Signature]*

Lisa Berg

STATE OF NEVADA  
COUNTY OF WASHOE

} SS:

This instrument was acknowledged before me on January 8, 2007,  
by Son Berg and Lisa Berg.

NOTARY PUBLIC

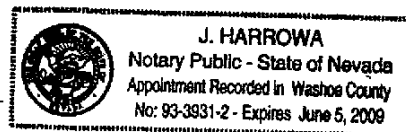




Exhibit A

All that certain real property situate in the County of Washoe, State of Nevada, described as follows:

Parcel 24-2-0-5 as shown on the Record of Survey Map filed in the office of the Washoe County Recorder, Washoe County, Nevada on September 9, 1976, under File No. 425174, and Division of Land Map filed in the office of the Washoe County Recorder, Washoe County, Nevada, under File No. 425180, more particularly described as follows:

A portion of the Southwest  $\frac{1}{4}$  of Section 24, Township 22 North, Range 20 East, Mount Diablo Base and Meridian in the County of Washoe, State of Nevada, and being more particularly described as follows:

PARCEL A:

Commencing at the Northwest corner of Section 24, thence South  $01^{\circ}43'16''$  West, 2,677.60 feet to the TRUE POINT OF BEGINNING; thence South  $89^{\circ}47'12''$  East, 2,566.27 feet; thence South  $04^{\circ}05'29''$  West, 1,332.89 feet; thence North  $89^{\circ}43'10''$  West, 2,518.33 feet; thence North  $02^{\circ}02'07''$  East 1,327.54 feet to the TRUE POINT OF BEGINNING.

PARCEL B:

Being described as all that land lying Easterly of said Parcel "A" and Westerly of the existing right-of-way line for State Highway No. 33 and also lying Southerly of the prolongation of the North line of said Parcel "A" and Northerly of the prolongation of the South line of said Parcel "A".

PARCEL C:

An easement for ingress and egress as granted to the Palomino Valley General Improvement District as set forth in a document recorded September 23, 1976, as Document No. 427136, in Book 1009, Page 277 of Official Records.

APN: 076-272-03

PREVIOUS DOCUMENT NO. 3062068

Account Detail

[Back to Account Detail](#)

[Change of Address](#)

[Print this Page](#)

**Washoe County Parcel Information**

Parcel ID	Status	Last Update
07627203	Active	6/12/2017 2:10:55 AM
<b>Current Owner:</b> 14855 PYRAMID WAY LAND TRUST  PO BOX 17283 RENO, NV 89511		<b>SITUS:</b> 14855 PYRAMID WAY
<b>Taxing District</b> 4400		<b>Geo CD:</b>
Legal Description		
Township 22 Section 24 Lot Block Range 20 SubdivisionName _UNSPECIFIED		

**Tax Bill (Click on desired tax year for due dates and further details)**

Tax Year	Net Tax	Total Paid	Penalty/Fees	Interest	Balance Due
<a href="#">2016</a>	\$6,775.10	\$6,842.85	\$0.00	\$0.00	\$0.00
<a href="#">2015</a>	\$6,761.58	\$6,761.58	\$0.00	\$0.00	\$0.00
<a href="#">2014</a>	\$6,616.96	\$6,616.96	\$0.00	\$0.00	\$0.00
<a href="#">2013</a>	\$6,491.24	\$6,491.24	\$0.00	\$0.00	\$0.00
<a href="#">2012</a>	\$6,419.20	\$6,483.39	\$0.00	\$0.00	\$0.00
Total					\$0.00

**Important Payment Information**

- **ALERTS:** If your real property taxes are delinquent, the search results displayed may not reflect the correct amount owing. Please contact our office for the current amount due.
- For your convenience, online payment is available on this site. E-check payments are accepted without a fee. However, a service fee does apply for online credit card payments. See [Payment Information](#) for details.

**Pay Online**

No payment due for this account.

**\$0.00**

**Pay By Check**

Please make checks payable to:  
**WASHOE COUNTY TREASURER**

**Mailing Address:**  
P.O. Box 30039  
Reno, NV 89520-3039

**Overnight Address:**  
1001 E. Ninth St., Ste D140  
Reno, NV 89512-2845



The Washoe County Treasurer's Office makes every effort to produce and publish the most current and accurate information possible. No warranties, expressed or implied, are provided for the data herein, its use, or its interpretation. If you have any questions, please contact us at (775) 328-2510 or [tax@washoecounty.us](mailto:tax@washoecounty.us)

This site is best viewed using Google Chrome, Internet Explorer 11, Mozilla Firefox or Safari.



2785 Mitchell Drive  
Building 9  
Walnut Creek, CA 94598

October 9, 2017

Denise Reynolds, Fire Chief  
Truckee Meadows Fire Protection District, Washoe County  
1001 East Ninth Street, Building D, Second Floor  
Reno, NV 89520

RE: Fire Road Design  
Verizon Wireless Cellular Facilities

- o Rolling Thunder – 5205 Wayside Road, Reno, NV
- o Axe Handle Canyon – 14855 Pyramid Way, Reno, NV

Dear Ms. Reynolds:

Thank you taking the time to meet with our site acquisition representatives on September 7, 2017. We also appreciate your flexibility regarding the access design to our proposed cellular facilities referenced above.

Pursuant to the meeting, this letter is intended to acknowledge that Verizon Wireless understands that the response time by the Truckee Meadows Fire Protection District (“Fire District”) to a fire on the Verizon Wireless Facilities may be increased due to the design width and grade slope of the access roads and Verizon agrees to waive any claims against the Fire District for damage to Verizon property or equipment arising out of a longer response time by the Fire District due to the design of the access roads.

We do appreciate your cooperation in bringing much needed cellular service to these areas. Should you have any questions or concerns, please feel free to contact me directly.

Sincerely,  
Verizon Wireless

Radha Sharma  
Real Estate Manager

C D D R A W I N G S I G N - O F F

DATE: \_\_\_\_\_ TIME: \_\_\_\_\_ % CWC-PLEASE RETURN BY: \_\_\_\_\_



SIGNATURE

DATE

SITE ACQUISITION: \_\_\_\_\_

PLANNING: \_\_\_\_\_

CONSTRUCTION: \_\_\_\_\_

MANAGEMENT: \_\_\_\_\_



SIGNATURE

DATE

CONSTRUCTION: \_\_\_\_\_

RF ENGINEER: \_\_\_\_\_

MW ENG./TRANSPORT: \_\_\_\_\_

EQUIPMENT ENGINEER: \_\_\_\_\_

OTHER (IF APPLICABLE)

SIGNATURE

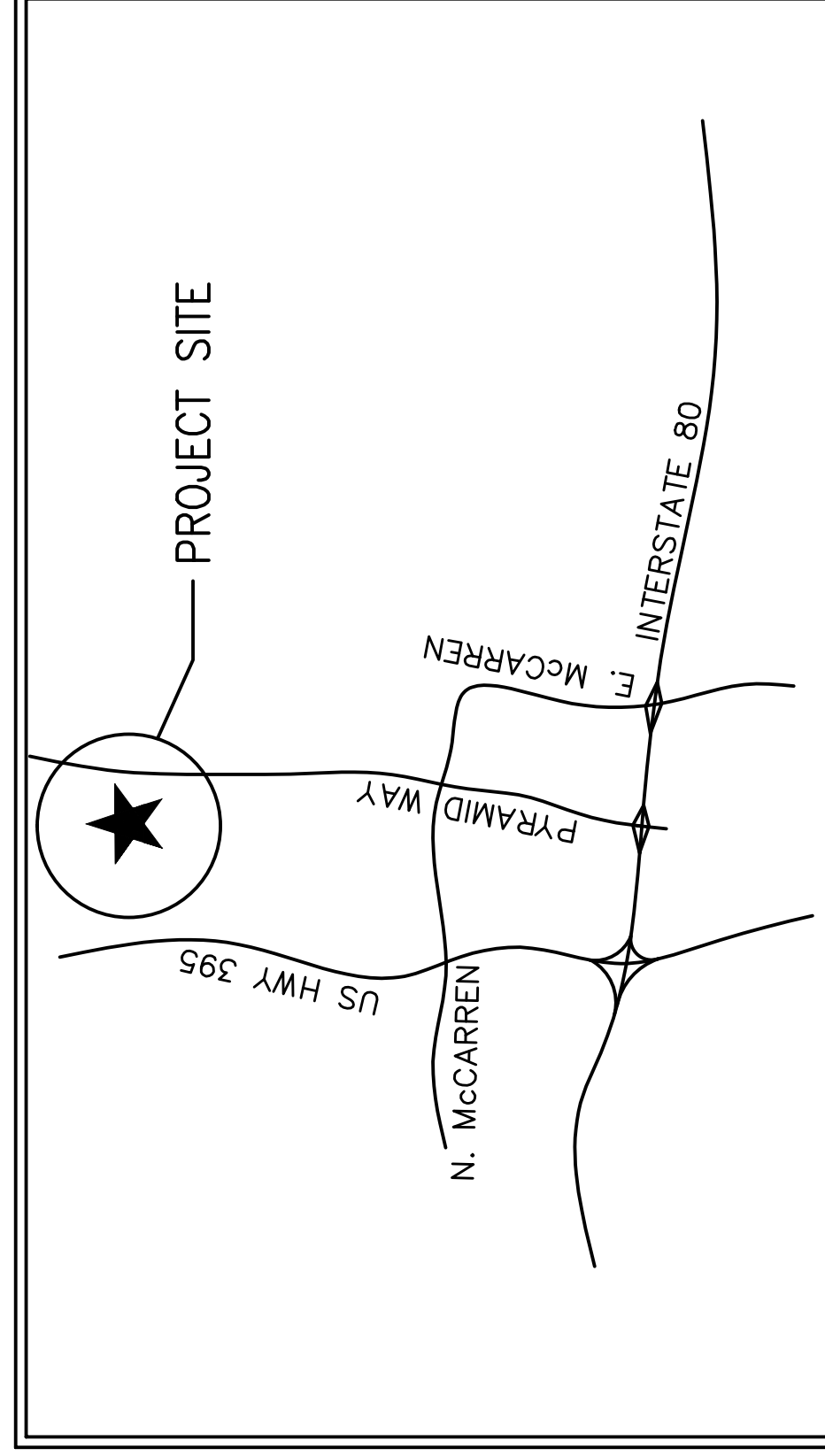
DATE

# verizon

295 Parkshore Drive, Folsom, CA 95630

## AXE HANDLE CANYON

14855 PYRAMID WAY  
 RENO, NV 89510  
 APN: 076-272-03  
 LOCATION #: 296901



### LOCATION PLAN

#### DIRECTIONS

- FROM VERIZON OFFICE @ 295 PARKSHORE DRIVE, FOLSOM, CA 95630:
1. GET ON I-80 E IN LOOMIS FROM FOLSOM BLVD, FOLSOM-AUBURN RD, AUBURN FOLSOM RD AND LAIRD RD
  2. HEAD NORTHEAST ON PARKSHORE DR
  3. TURN LEFT ONTO COOLIDGE DR
  4. TURN LEFT ONTO GLENN DR
  5. USE THE RIGHT 2 LANES TO TURN RIGHT ONTO FOLSOM BLVD
  6. CONTINUE ONTO FOLSOM-AUBURN RD
  7. CONTINUE ONTO AUBURN FOLSOM RD
  8. TURN LEFT ONTO CAVITT STALLMAN RD
  9. TURN RIGHT AT THE 1ST CROSS STREET ONTO LAIRD RD
  10. TURN RIGHT ONTO HORSESHOE BAR RD
  11. TURN LEFT TO STAY ON HORSESHOE BAR RD
  12. TURN RIGHT TO MERGE ONTO I-80 E
  13. MERGE ONTO I-80 E
  14. USE THE RIGHT 2 LANES TO TAKE EXIT 18 TO MERGE ONTO NV-445 N/PYRAMID WAY
  15. MERGE ONTO NV-445 N/PYRAMID WAY

#### INDEX OF DRAWINGS

1. T1-1 TITLE SHEET, LOCATION PLAN, PROJECT DATA
  2. T1-2 GENERAL NOTES
  3. C1 CIVIL SURVEY SHEET
  4. C2 CIVIL SURVEY SHEET
  5. C3 CIVIL SURVEY SHEET
  6. A1-1 OVERALL SITE PLAN
  7. A2-1 EQUIPMENT LAYOUT PLAN
  8. A2-2 ANTENNA LAYOUT PLAN
  9. A3-1 PROJECT ELEVATIONS
  10. A3-2 CONSTRUCTION DETAILS
  11. A4-1 CONSTRUCTION DETAILS
  12. A4-2 RRU/RAYCAP CONNECTION GUIDE
  13. A4-3 STANDBY GENERATOR DATA SHEETS
  14. A6-1 STANDBY GENERATOR INSTALLATION DETAILS
  15. A6-2 UL142 CERTIFIED, 132 GALLON TANK DETAIL
  16. A6-3 STRUCTURAL PLANS
  17. S1-1 ELECTRICAL PLANS
  18. E1-1 GROUNDING PLAN
  19. E2-1 GROUNDING DETAILS
  20. E2-2 GRADING DETAILS
- GRADING PLANS BY CARTWRIGHT ENGINEERS:
21. C1.0 GENERAL NOTES & ACCESS ROAD SECTIONS
  22. C1.1 ACCESS ROAD PLAN & PROFILE
  23. C2.0 EROSION & SEDIMENT CONTROL
  24. C2.1 EROSION & SEDIMENT CONTROL DETAILS
- TOWER DRAWINGS BY ENGINEERED ENDEAVORS:
25. MP 104 FT. MONOPOLE

#### PROJECT DIRECTORY

**APPLICANT:**  
 VERIZON WIRELESS  
 295 PARKSHORE DRIVE  
 FOLSOM, CA 95630

**LANDLORD:**  
 14855 PYRAMID WAY LAND TRUST  
 PO BOX 17283  
 RENO, NV 89510  
 ATTN: RENIA SMITH  
 951-488-7573

**ARCHITECT:**  
 MANUEL S. TSHLAS  
 MST ARCHITECTS, INC.  
 1520 RIVER PARK DRIVE  
 SACRAMENTO, CA 95815  
 916-567-9630  
 manuel@mstarchitects.com

**CONSTRUCTION MANAGER:**  
 BOB SCHRÖEDER  
 COMPLETE WIRELESS CONSULTING, INC.  
 2009 Y STREET  
 SACRAMENTO, CA 95818  
 916-217-7512  
 bschroeder@completewireless.net

#### PROJECT SUMMARY

ASSESSOR'S PARCEL NUMBER: 076-272-03

JURISDICTION: WASHOE COUNTY

OCCUPANCY: U (TOWER)

TYPE OF CONSTRUCTION: V-B

ZONING: GRA (GENERAL RURAL AGRICULTURAL)

#### CODE COMPLIANCE

ALL WORK AND MATERIALS SHALL BE PERFORMED AND INSTALLED IN ACCORDANCE WITH THE CURRENT EDITIONS OF THE FOLLOWING CODES AS ADOPTED BY THE LOCAL GOVERNING AUTHORITIES. NOTHING IN THESE PLANS IS TO BE CONSTRUED TO PERMIT WORK NOT CONFORMING TO THESE CODES.

1. 2012 INTERNATIONAL BUILDING CODE
2. 2012 INTERNATIONAL RESIDENTIAL CODE
3. 2012 INTERNATIONAL MECHANICAL CODE
4. 2012 INTERNATIONAL FUEL GAS CODE
5. 2012 INTERNATIONAL PLUMBING CODE
6. 2012 UNIFORM PLUMBING CODE
7. 2011 NATIONAL ELECTRIC CODE
8. 2009 INTERNATIONAL ENERGY CONSERVATION CODE W/AMENDMENTS
9. 2003 INTERNATIONAL FIRE CODE W/AMENDMENTS
10. 2012 NORTHERN NEVADA AMENDMENTS

ACCESSIBILITY REQUIREMENTS:  
 THIS FACILITY IS UNMANNED AND NOT FOR HUMAN HABITATION. HANDICAPPED ACCESS REQUIREMENTS ARE NOT REQUIRED IN ACCORDANCE WITH THE 2012 INTERNATIONAL BUILDING CODE.

#### PROJECT DESCRIPTION

PROPOSED VERIZON WIRELESS UNMANNED TELECOMMUNICATIONS FACILITY INCLUDING:

- A 25'-0" x 20'-0" EQUIPMENT LEASE AREA.
- A 25'-0" x 25'-0" MONOPOLE LEASE AREA.
- OUTDOOR EQUIPMENT CABINETS.
- POWER & TELCO UTILITIES BROUGHT TO FACILITY.
- A STANDBY GENERATOR.
- RETAINING WALLS/CHAIN LINK FENCE WITH BARBED WIRE @ LEASE AREA PERIMETERS
- ANTENNAS W/ ASSOCIATED TOWER MOUNTED EQUIPMENT MOUNTED ON A PROPOSED MONOPOLE.

#### PROJECT MILESTONES

09/15/2015	90% ZONING DOCUMENTS
11/13/2015	100% ZONING DOCUMENTS
02/24/2016	100% ZONING DOCUMENTS REV1
05/12/2016	100% ZONING DOCUMENTS REV2
07/26/2017	100% ZONING DOCUMENTS REV3
08/02/2017	100% ZONING DOCUMENTS REV4
08/23/2017	90% CONSTRUCTION DOCUMENTS
12/05/2017	90% CONSTRUCTION DOCUMENTS REV1
XX/XX/XXXX	100% CONSTRUCTION DOCUMENTS

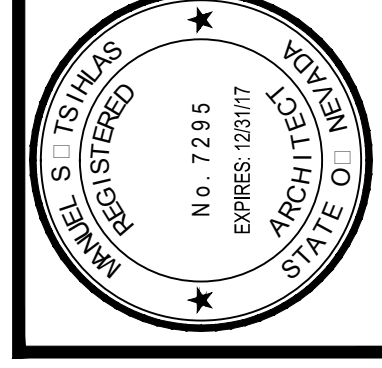


Manuel S. Tshlas, Architect  
 1520 River Park Drive, Sacramento, CA 95815  
 916-505-3811



SHEET TITLE: TITLE SHEET, LOCATION PLAN, PROJECT DATA

verizon  
 AXE HANDLE CANYON  
 14855 PYRAMID WAY  
 RENO, NV 89510



Revisions:

Δ ---	
Δ ---	
Δ ---	
Δ ---	

File: 162.1654\_T11.dwg  
 Drawn By: MWS  
 Checked By: TST  
 Scale: AS NOTED  
 Date: 12/05/17

Job No. 162.1654

T1.1

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G E N E R A L N O T E S

1. DRAWINGS ARE NOT TO BE SCALED. WRITTEN DIMENSIONS TAKE PRECEDENCE, AND THIS SET OF PLANS IS INTENDED TO BE USED FOR DIAGRAMMATIC PURPOSES ONLY, UNLESS NOTED OTHERWISE. THE GENERAL CONTRACTOR'S SCOPE OF WORK SHALL INCLUDE FURNISHING ALL MATERIALS, EQUIPMENT, LABOR AND ANYTHING ELSE DEEMED NECESSARY TO COMPLETE INSTALLATIONS AS DESCRIBED HEREIN.
2. PRIOR TO THE SUBMISSION OF BIDS, THE CONTRACTORS INVOLVED SHALL VISIT THE JOB SITE AND FAMILIARIZE THEMSELVES WITH ALL CONDITIONS AFFECTING THE PROPOSED PROJECT, WITH THE CONSTRUCTION AND CONTRACT DOCUMENTS, FIELD CONDITIONS AND CONFIRM THAT THE PROJECT MAY BE ACCOMPLISHED AS SHOWN PRIOR TO PROCEEDING WITH CONSTRUCTION. ANY ERRORS, OMISSIONS, OR DISCREPANCIES ARE TO BE BROUGHT TO THE ATTENTION OF THE ARCHITECT/ ENGINEER.
3. THE GENERAL CONTRACTOR SHALL RECEIVE WRITTEN AUTHORIZATION TO PROCEED WITH CONSTRUCTION PRIOR TO STARTING WORK ON ANY ITEM NOT CLEARLY DEFINED BY THE CONSTRUCTION DRAWINGS/CONTRACT DOCUMENTS.
4. THE CONTRACTOR SHALL SUPERVISE AND DIRECT THE PROJECT DESCRIBED HEREIN. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, AND PROCEDURES AND FOR COORDINATING ALL PORTIONS OF THE WORK UNDER THE CONTRACT.
5. THE CONTRACTOR SHALL INSTALL ALL EQUIPMENT AND MATERIALS ACCORDING TO MANUFACTURER'S/VENDOR'S SPECIFICATIONS UNLESS NOTED OTHERWISE OR WHERE LOCAL CODES OR ORDINANCES TAKE PRECEDENCE.
6. ALL WORK PERFORMED ON PROJECT AND MATERIALS INSTALLED SHALL BE IN STRICT ACCORDANCE WITH ALL APPLICABLE CODES, REGULATIONS, AND ORDINANCES. CONTRACTOR SHALL GIVE ALL NOTICES AND COMPLY WITH ALL LAWS, ORDINANCES, RULES, REGULATIONS, AND LAWFUL ORDERS OF ANY PUBLIC AUTHORITY, MUNICIPAL AND UTILITY COMPANY SPECIFICATIONS, AND LOCAL AND STATE JURISDICTIONAL CODES BEARING ON THE PERFORMANCE OF THE WORK.
7. GENERAL CONTRACTOR SHALL PROVIDE AT THE PROJECT SITE A FULL SET OF CONSTRUCTION DOCUMENTS UPDATED WITH THE LATEST REVISIONS AND ADDENDUMS OR CLARIFICATIONS FOR THE USE BY ALL PERSONNEL INVOLVED WITH THE PROJECT.
8. THE STRUCTURAL COMPONENTS OF THIS PROJECT SITE/FACILITY ARE NOT TO BE ALTERED BY THIS CONSTRUCTION PROJECT UNLESS NOTED OTHERWISE.
9. DETAILS HEREIN ARE INTENDED TO SHOW END RESULT OF DESIGN. MINOR MODIFICATIONS MAY BE REQUIRED TO SUIT JOB CONDITIONS OR SITUATIONS, AND SUCH MODIFICATIONS SHALL BE INCLUDED AS PART OF THE SCOPE OF WORK.
10. SEAL PENETRATIONS THROUGH FIRE-RATED AREAS WITH U.L. LISTED OR FIRE MARSHALL APPROVED MATERIALS IF APPLICABLE TO THIS FACILITY AND OR PROJECT SITE.
11. THE CONTRACTOR SHALL MAKE NECESSARY PROVISIONS TO PROTECT EXISTING IMPROVEMENTS, EASEMENTS, PAVING, CURBING, ETC. DURING CONSTRUCTION. UPON COMPLETION OF WORK, CONTRACTOR SHALL REPAIR ANY DAMAGE THAT MAY HAVE OCCURRED DUE TO THE CONSTRUCTION ON OR ABOUT THE PROPERTY.
12. CONTRACTOR SHALL SEE TO IT THAT GENERAL WORK AREA IS KEPT CLEAN AND HAZARD FREE DURING CONSTRUCTION AND DISPOSE OF ALL DIRT, DEBRIS, RUBBISH AND REMOVE EQUIPMENT NOT SPECIFIED AS REMAINING ON THE PROPERTY. PREMISES SHALL BE LEFT IN CLEAN CONDITION AND FREE FROM PAINT SPOTS, DUST, OR SMUDGES OF ANY NATURE.
13. THE ARCHITECTS/ENGINEERS HAVE MADE EVERY EFFORT TO SET FORTH IN THE CONSTRUCTION AND CONTRACT DOCUMENTS THE COMPLETE SCOPE OF WORK. CONTRACTORS BIDDING THE JOB ARE NEVERTHELESS CAUTIONED THAT MINOR OMISSIONS OR ERRORS IN THE DRAWINGS AND OR SPECIFICATIONS SHALL NOT EXCUSE SAID CONTRACTOR FROM COMPLETING THE PROJECT AND IMPROVEMENTS IN ACCORDANCE WITH THE INTENT OF THESE DOCUMENTS. THE BIDDER SHALL BEAR THE RESPONSIBILITY OF NOTIFYING (IN WRITING) THE ARCHITECT/ENGINEER OF ANY CONFLICTS, ERRORS, OR OMISSIONS PRIOR TO THE SUBMISSION OF CONTRACTOR'S PROPOSAL. IN THE EVENT OF DISCREPANCIES THE CONTRACTOR SHALL PRICE THE MORE COSTLY OR EXTENSIVE WORK, UNLESS DIRECTED OTHERWISE.

S P E C I A L I N S P E C T I O N S

SPECIAL INSPECTIONS PER 2016 CBC SECTION 1704 ARE REQUIRED FOR THE FOLLOWING:

- A.) ALL STRUCTURAL WELDING, INCLUDING WELDING OF REINFORCEMENT OF STRUCTURAL STEEL
- B.) INSTALLATION & TIGHTENING OPERATIONS FOR ALL HIGH-STRENGTH FRICTION BOLTING
- C.) INSTALLATION & TIGHTENING OPERATIONS FOR ALL ANCHOR BOLTS
- D.) DURING THE TAKING OF TEST SPECIMENS & PLACING OF ALL REINFORCED CONCRETE WHERE THE SPECIFIED CONCRETE STRENGTH EXCEEDS 2500 PSI
- E.) DURING PLACEMENT OF REINFORCING STEEL
- F.) SOILS & FOUNDATION COMPLIANCE WITH PROJECT SOIL REPORT PRIOR TO FOUNDATION INSPECTION

STRUCTURAL DESIGN CRITERIA:

- 1) SOIL SITE CLASSIFICATION: D
- 2) SOIL BEARING CAPACITY: SLABS: 1500 PSF
- 3) SEISMIC IMPORTANCE FACTOR: I
- 4) SPECTRAL RESPONSE ACCELERATIONS: Ss = 1.351g S1 = 0.465g
- 5) SPECTRAL RESPONSE COEFFICIENTS: SDS = 0.900g SD1 = 0.476g
- 6) SITE COEFFICIENTS: Fa = 1.0
- 7) SEISMIC DESIGN CATEGORY: D



**Manuel S. Tishas, Architect**  
1520 River Park Drive, Sacramento, CA 95815  
916-505-3811

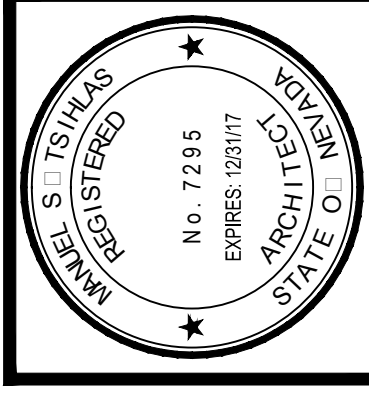


THESE DRAWINGS AND SPECIFICATIONS AS MEMBERS OF THE PROFESSION OF ARCHITECTS AND ENGINEERS SHALL NOT BE USED BY ANY PERSON OR ENTITY ON OTHER PROJECTS WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT. COPYRIGHT, MANUEL S. TISHAS, ARCHITECT. ALL RIGHTS RESERVED.

**Verizon**  
AXE HANDLE CANYON  
14855 PYRAMID WAY  
RENO, NV 89510

G E N E R A L N O T E S

SHEET TITLE:



Revisions:


File:162.165\_.112.dwg  
Drawn By: MWS  
Checked By: 1ST  
Scale: AS NOTED  
Date: 12/05/17

Job No. 162.1654

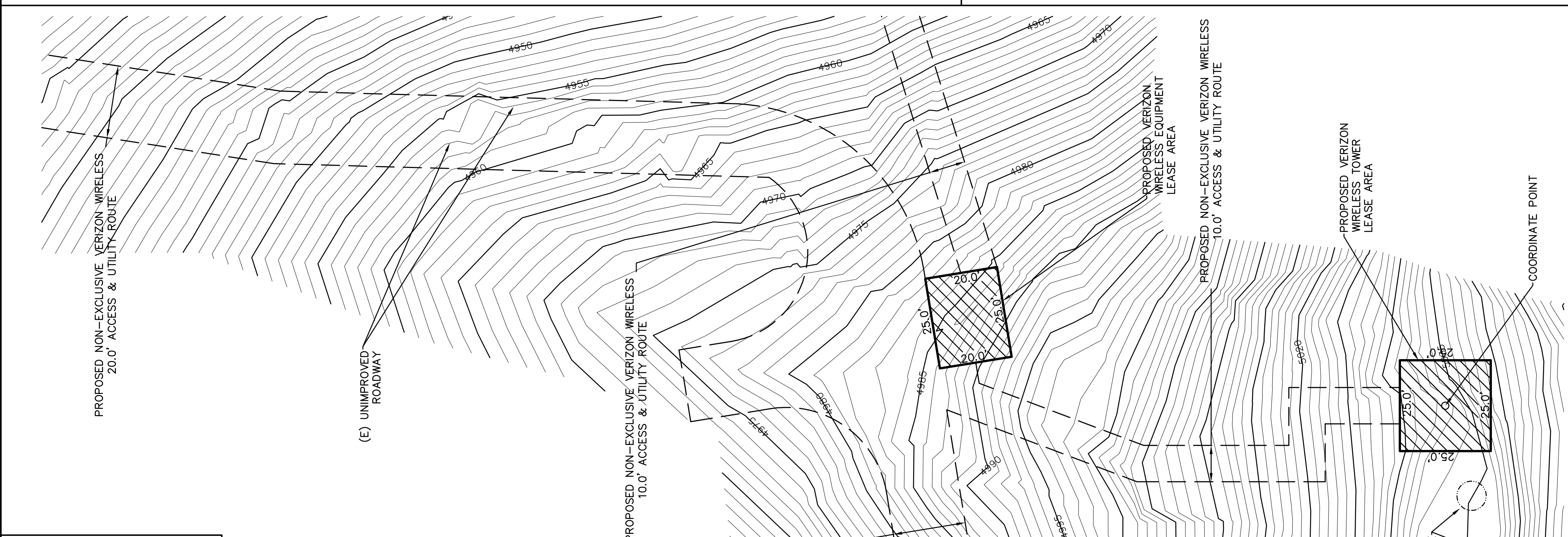
**T1.2**

THESE DRAWINGS AND/OR THE ACCOMPANYING SPECIFICATION AS INSTRUMENTS OF SERVICE, ARE THE EXCLUSIVE PROPERTY OF GELL ENGINEERING AND THEIR USE AND SERVICE, SHALL BE LIMITED TO THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREON. ANY REUSE, REPRODUCTION OR PUBLICATION BY ANY METHOD, IN WHOLE OR IN PART, IS PROHIBITED EXCEPT BY WRITTEN PERMISSION FROM GELL ENGINEERING. TITLE TO THESE PLANS AND/OR SPECIFICATIONS SHALL REMAIN WITH GELL ENGINEERING WITHOUT PREJUDICE AND VISUAL CONTACT WITH THEM SHALL CONSTITUTE PRIMA FACIE EVIDENCE OF ACCEPTANCE OF THESE RESTRICTIONS.

BOUNDARY SHOWN IS BASED ON MONUMENTATION FOUND AND RECORD INFORMATION. THIS IS NOT A BOUNDARY SURVEY. THIS IS A SPECIALIZED TOPOGRAPHIC MAP WITH PROPERTY LINES AND EASEMENTS BEING A GRAPHIC DEPICTION BASED ON INFORMATION GATHERED FROM VARIOUS SOURCES OF RECORD AND AVAILABLE MONUMENTATION FOUND DURING THE FIELD SURVEY. NO EASEMENTS WERE RESEARCHED OR PLOTTED. PROPERTY LINES AND LINES OF TITLE WERE NOT INVESTIGATED NOR SURVEYED. NO PROPERTY MONUMENTS WERE SET.

**LEGEND**

- PARCEL BOUNDARY
- - - NEIGHBORING PARCEL BOUNDARY
- LEASE AREA BOUNDARY
- - - UTILITIES
- (E) EASEMENTS
- (P) EASEMENTS
- FENCE LINE
- JP JOINT UTILITY POLE
- TP TELEPHONE POLE
- EP ELECTRICAL POLE
- W WATER VALVE
- W WATER BOX
- SSMH SANITARY SEWER MANHOLE
- SDMH STORM DRAIN MANHOLE
- DI DROP INLET



**LEASE AREA DETAIL**



**Axe Handle Canyon Lease Area Description**

All that certain lease area being a portion Parcel 24-2-0-5 as shown on Record of Survey 986 Document No. 425174. Official Records of Washoe County, Nevada being more particularly described as follows:

**Equipment Lease Area**  
Commencing at a T-Bar fence post set for the Southeast corner of said parcel of land which bears South 04°05'29" West 1333.36 feet from a T-Bar post set for the Northeast corner of said parcel; thence along the South boundary thereof North 89°43'10" West 1728.66 feet; thence leaving said South boundary North 00°16'50" East 697.79 feet to the True Point of Beginning; thence from said point of beginning North 09°17'03" West 20.00 feet; thence North 80°42'57" East 25.00 feet; thence South 09°17'03" East 20.00 feet; thence South 80°42'57" West 25.00 feet to the point of beginning.

**Tower Lease Area**  
Commencing at a T-Bar fence post set for the Southeast corner of said parcel of land which bears South 04°05'29" West 1333.36 feet from a T-Bar post set for the Northeast corner of said parcel; thence along the South boundary thereof North 89°43'10" West 1754.00 feet; thence leaving said South boundary North 00°16'50" East 565.93 feet to the True Point of Beginning; thence from said point of beginning North 25.00 feet; thence East 25.00 feet; thence South 25.00 feet; thence West 25.00 feet to the point of beginning.

Together with an easement for utility purposes, ten feet in width, the centerline of which is described as follows: Beginning at a point which bears North 09°17'03" West 5.05 feet from the Southeast corner of the above described Equipment Lease Area; thence from said point of beginning North 72°51'03" East 473.18 feet more or less to an existing electrical pole said point hereinafter referred to as Point B; thence along said pole line South 38°04'25" East 656.0 feet and South 12°02'15" East 347.1 feet to an existing public utility easement; thence along said public utility easement South 89°43'10" 77.3 feet more or less to the public right of way.

Also together with an easement for access and utility purposes, over and across the East 6.0 feet of the South 220.0 feet of the aforementioned parcel of land.

Also together with an easement for access and utility purposes, six feet in width, from the aforementioned Point B and running thence North 18°24'10" East 48.0 feet to an existing electrical meter.

Also together with an easement for access purposes, twenty feet in width the centerline of which is described as follows: Commencing at a point on the East boundary of the aforementioned parcel of land which bears North 04°05'29" East 10.02 feet from the Southeast corner thereof; thence along an existing traveled way North 89°43'10" West 638.57 feet; thence along a tangent curve to the West, having a radius of 250.00 feet and a central angle of 102°52'19"; thence along said curve a distance of 448.86 feet; thence North 13°09'09" East, 301.26 feet; thence along a tangent curve to the North, having a radius of 525.00 feet and a central angle of 35°29'36"; thence along said curve a distance of 325.22 feet; thence North 22°20'27" West, 83.12 feet; thence along a tangent curve to the North, having a radius of 200.00 feet and a central angle of 33°32'13"; thence along said curve a distance of 117.07 feet; thence North 11°11'46" East, 96.73 feet; thence along a tangent curve to the North, having a radius of 25.00 feet and a central angle of 158°53'50"; thence along said curve a distance of 69.33 feet; thence South 32°17'56" West, 143.96 feet; thence along a tangent curve to the Southwest, having a radius of 300.00 feet and a central angle of 31°47'09"; thence along said curve a distance of 166.43 feet; thence South 03°04'47" West, 106.31 feet; thence along a tangent curve to the South, having a radius of 55.00 feet and a central angle of 151°31'19"; thence along said curve a distance of 145.45 feet; thence North 27°57'54" West, 83.36 feet; thence along a tangent curve to the Northwest, having a radius of 150.00 feet and a central angle of 23°20'40"; thence along said curve a distance of 61.12 feet; thence North 51°19'34" West, 140.42 feet; thence along a tangent curve to the Northwest, having a radius of 125.00 feet and a central angle of 73°54'18"; thence along said curve a distance of 161.24 feet; thence South 54°47'08" West, 46.42 feet; thence along a tangent curve to the Southwest, having a radius of 50.00 feet and a central angle of 101°58'08"; thence along said curve a distance of 88.98 feet; thence North 23°14'44" West, 20.39 feet; thence along a tangent curve to the Northwest, having a radius of 25.00 feet and a central angle of 147°56'22"; thence along said curve a distance of 64.55 feet; thence South 8°48'53" West, 141.87 feet; thence South 12°51'07" West, 122.53 feet; thence along a tangent curve to the South, having a radius of 45.00 feet and a central angle of 79°19'50"; thence along said curve a distance of 62.31 feet; thence South 80°42'57" West, 20.89 feet to a point hereinafter referred to as Point A; thence continuing South 80°42'57" West, 60.00 feet.

Also together with an easement for access purposes, twenty feet in width, the centerline of which is described as follows: Beginning at the aforementioned Point A; thence South 09°17'03" East 10.0 feet more or less to the above described Equipment Lease Area.

Also together with an easement for access purposes, twenty feet in width the centerline of which is described as follows: Beginning at the aforementioned Point A; thence North 09°17'03" West 60.0 feet and as necessary for fire safe turn around.

Also together with an easement for access and utility purposes, ten feet in width the centerline of which is described as follows: Beginning at a point on the West boundary of the above described equipment lease area which bears South 91°703" East, 5.00 feet from the Northwest corner thereof; thence from said point of beginning South 80°42'57" West, 8.65 feet; thence South 20°43'53" West, 52.16 feet; thence South 0°00'00" West, 45.85 feet; thence North 90°00'00" East, 15.93 feet; thence South South 0°00'00" East, 25.51 feet more or less to a point on the South boundary of the above described tower lease area.

Also together with an easement for utility purposes, ten feet in width, the centerline of which is described as follows: Beginning at the above described Point B; thence from said point of beginning North 0°00'00" East, 45.85 feet; thence North 20°43'53" East, 52.16 feet; thence North 80°42'57" East, 8.65 feet more or less to the above described equipment lease area.

**Verizon**

**AXE HANDLE CANYON**  
14855 PYRAMID WAY  
RENO, NV 89510

**PLAT PLAN AND SITE TOPOGRAPHY**

Sheet **C-1**

09-06-15	Preliminary Drawing	DC
09-16-15	rev. lease area	DC
11-12-15	redlines	DC
05-05-16	rev. lease area	DC
05-10-16	redlines	DC
10-09-17	Sheet C-3 added	DC
12-07-17	rev. asmnts.	DC

REVISIONS

**RENO, NV VICINITY MAP**

**DATE OF SURVEY:** 08-27-15

**SURVEYED BY OR UNDER DIRECTION OF:** KENNETH D. GELL, PLS. 13365 LOCATED IN THE COUNTY OF WASHOE, STATE OF NEVADA

**CONTRACTOR IS RESPONSIBLE TO VERIFY LEASE AREA PRIOR TO CONSTRUCTION.**

**BEARINGS SHOWN ARE BASED UPON MONUMENTS FOUND AND RECORD INFORMATION. THIS IS NOT A BOUNDARY SURVEY.**

**ELEVATIONS SHOWN ON THIS PLAN ARE BASED UPON U.S.G.S. N.A.V.D. 88 DATUM. ABOVE MEAN SEA LEVEL UNLESS OTHERWISE NOTED.**

**N.G.V.D. 1929 CORRECTION: SUBTRACT 3.53' FROM ELEVATIONS SHOWN.**

**CONTOUR INTERVAL: 1 FT.**

**FLOOD ZONE PER FIRM**

**ASSESSOR'S PARCEL NUMBER: 076-272-03**

**LANDLORD(S): 14855 PYRAMID WAY TRUST  
P.O. BOX 17283  
RENO, NV 89511**

**Project Name:** Axe Handle Canyon

**Project Site Location:** 14855 Pyramid Way  
Reno, NV 89510  
Washoe County

**Date of Observation:** 08-27-15

**Equipment/Procedure Used to Obtain Coordinates:** Trimble GeoXT post, processed with Pathfinder Office software.

**Type of Antenna Mount:** Proposed Monopole

**Coordinates:**  
Latitude: N 39°45'29.61" (NAD83) N 39°45'29.94" (NAD27)  
Longitude: W 119°41'35.21" (NAD83) W 119°41'31.54" (NAD27)

**ELEVATION of Ground at Structure (NAVD88)** 5035' AMSL

**APN 076-272-03**

**ACCESS & UTILITIES EASEMENT PER 4205/752**

**PROPOSED VERIZON WIRELESS PIPELINE PER SIGNS**

**PROPOSED VERIZON WIRELESS 6.0' ACCESS & UTILITY EASEMENT**

**20.0' ACCESS & UTILITY ROUTE**

**PARCEL BOUNDARY (E) OVERHEAD ELECTRICAL (E) 20.0' PUBLIC UTILITY EASEMENT PER S986**

**PROPOSED VERIZON WIRELESS TOWER LEASE AREA**

**PROPOSED NON-EXCLUSIVE VERIZON WIRELESS 10.0' ACCESS & UTILITY ROUTE**

**PROPOSED VERIZON WIRELESS EQUIPMENT LEASE AREA**

**PROPOSED VERIZON WIRELESS TOWER LEASE AREA**

**COORDINATE POINT**

**SCALE 1" = 20'**

**APN 076-271-02**

**250.0' HWY RIGHT OF WAY**

**(E) 50.0' PUBLIC UTILITY EASEMENT PER S986**

**(E) TELCO PEDESTAL**

**(E) FIBER MANHOLE/ PROPOSED POINT OF SERVICE**

**PROPOSED VERIZON WIRELESS UTILITY ROUTE**

**(E) ELECT. POLE**

**PROPOSED VERIZON WIRELESS UTILITY ROUTE**

**SCALE 1" = 50'**

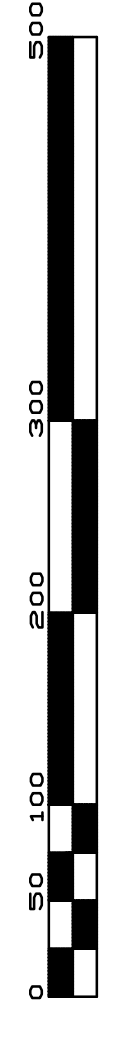
**UTILITY DETAIL**

DEPT	APPROVED	DATE
A&C		
RE		
RF		
INT		
EN/IN		
OPS		
EE/OUT		

**GELL ENGINEERING**  
1228 HIGH STREET  
AUBURN, CALIFORNIA 95603  
Phone: (530) 888-0428 Fax: (530) 888-1008

**ENGINEERING • SURVEYING • PLANNING**

Surveyor



REVISIONS	DATE	BY	DESCRIPTION
09-06-15			Preliminary Drawing
09-16-15			rev. lease area
11-12-15			redlines
05-05-16			rev. lease area
05-10-16			redlines
10-09-17			Sheet C-3 added
12-07-17			rev. esmts

Axe Handle Canyon  
14855 Pyramid Way  
Reno, NV 89510

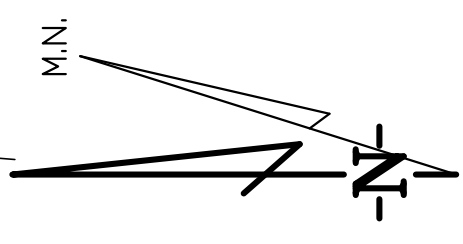
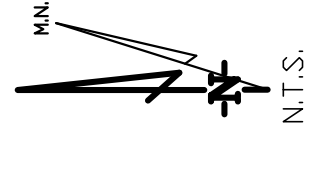
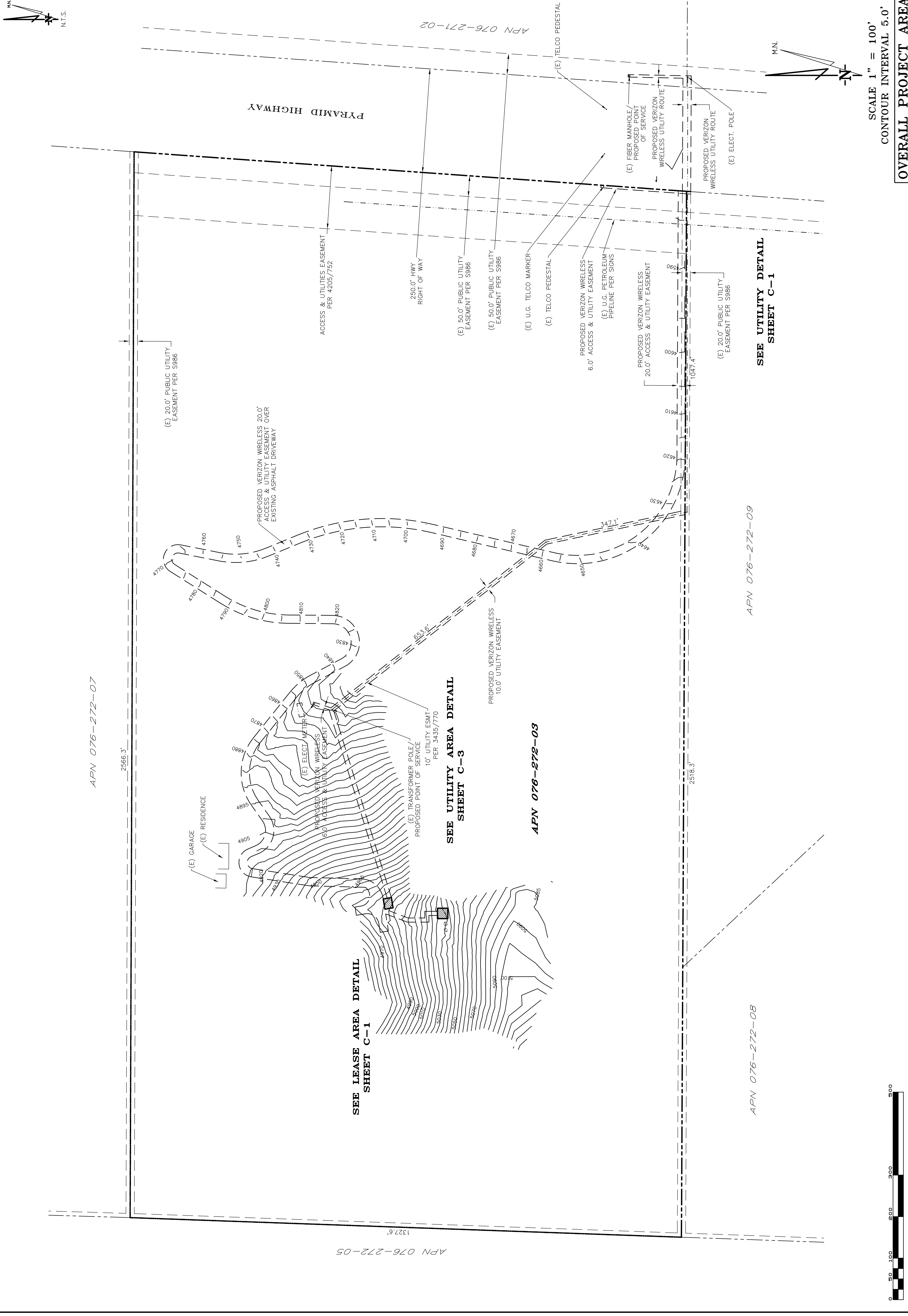
PLAT PLAN AND  
SITE TOPOGRAPHY



Surveyor

**GELL ENGINEERING**  
ENGINEERING • SURVEYING • PLANNING  
1226 HIGH STREET  
AUBURN, CALIFORNIA 95603  
Phone: (530) 886-0428 Fax: (530) 883-1308

DEPT	APPROVED	DATE
A&C		
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OPS		
EF\OUT		



REVISIONS	
09-06-15	Preliminary Drawing
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05-10-16	redlines
10-09-17	Sheet C-3 added
12-07-17	rev. smts.

**Axe Handle Canyon**  
 14855 Pyramid Way  
 Reno, NV 89510

**PLOT PLAN AND**  
**SITE TOPOGRAPHY**

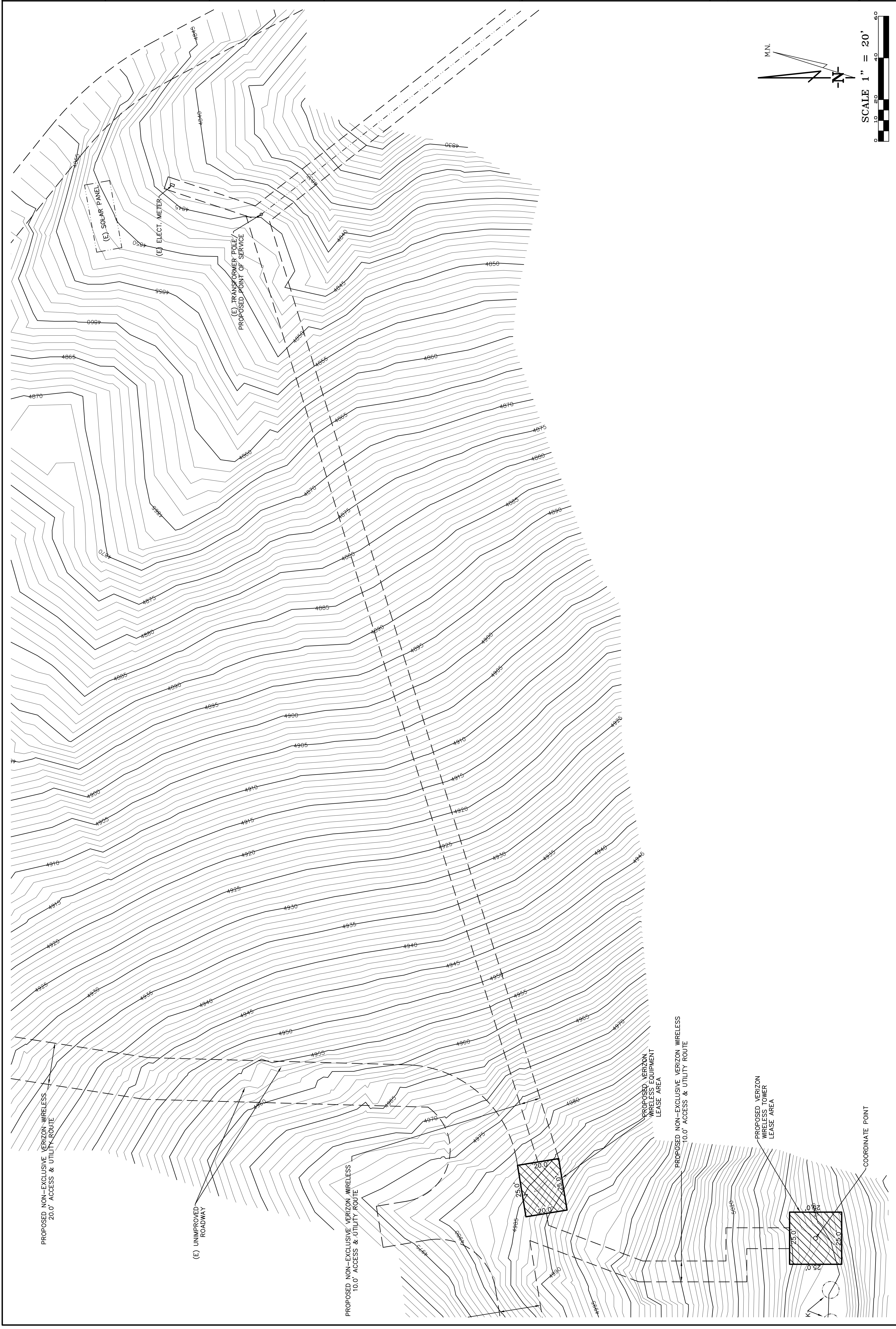
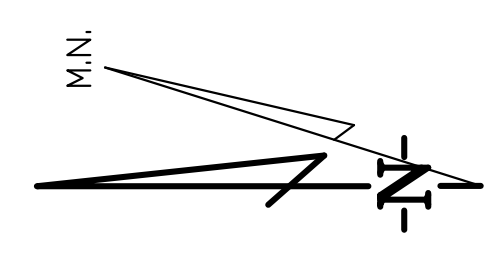


Surveyor

**GELL ENGINEERING**  
 ENGINEERING • SURVEYING • PLANNING  
 1226 HIGH STREET  
 AUBURN, CALIFORNIA 95603  
 Phone: (530) 885-0428  
 Fax: (530) 885-1008

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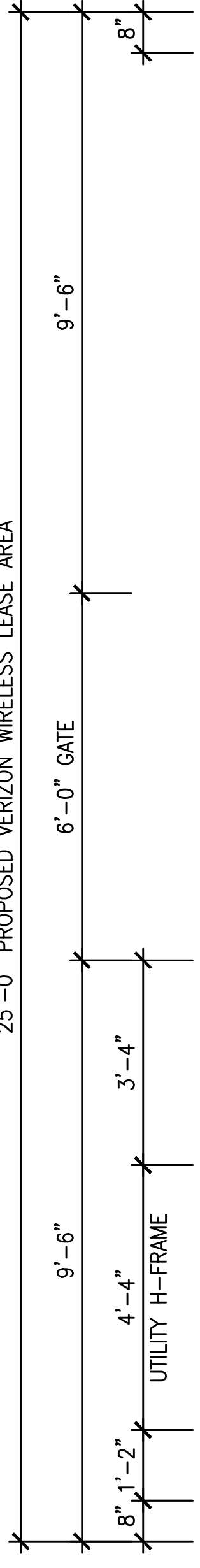
UTILITY AREA DETAIL







25'-0" PROPOSED VERIZON WIRELESS LEASE AREA



4 A4.1  
PROPOSED VERIZON WIRELESS 6'-0" TALL CHAIN LINK FENCE W/ BARBED WIRE & 6'-0" WIDE ACCESS GATE

8 A4.1  
PROPOSED VERIZON WIRELESS SITE IDENTIFICATION SIGN

6 A4.1  
(2) PROPOSED VERIZON WIRELESS GPS ANTENNAS

6 A4.2  
(2) PROPOSED VERIZON WIRELESS SURGE PROTECTORS ON UTILITY H-FRAME

2 A4.1  
(6) PROPOSED VERIZON WIRELESS 6" DIAMETER UNDERGROUND CONDUITS

7 A4.1  
PROPOSED VERIZON WIRELESS OUTDOOR EQUIPMENT CABINETS MOUNTED ON A 3'-3"x14'-2" CONCRETE SLAB

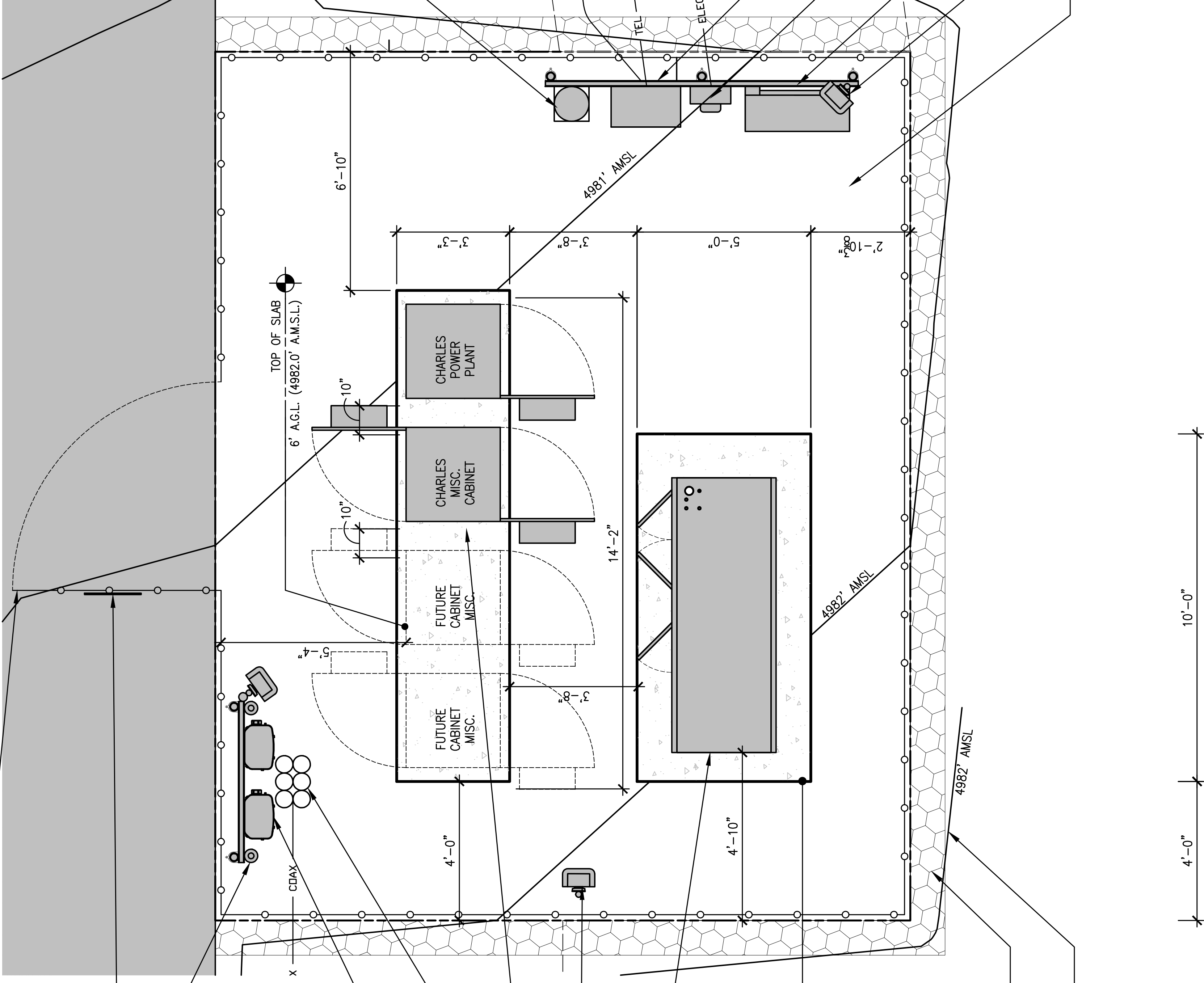
10 A4.1  
PROPOSED VERIZON WIRELESS HOODED & DOWNTILTED SECURITY LIGHT

A6.1 A6.2 A6.3  
PROPOSED VERIZON WIRELESS UL2200 CERTIFIED 48KW STANDBY DIESEL GENERATOR AND UL142 CERTIFIED 210 GALLON FUEL TANK MOUNTED ON A 5'-0"x10'-0" CONCRETE SLAB

TOP OF SLAB 6" A.G.L. (4982.5' A.M.S.L.)

C1.0  
PROPOSED RIPRAP

C1.0  
PROPOSED REGRADED CONTOURS, SEE GRADING PLANS



C1.0  
PROPOSED VERIZON WIRELESS AREA TO BE RE-GRADED WITH A GRAVEL ACCESS ROAD

A4.2  
PROPOSED VERIZON WIRELESS PORTABLE FIRE EXTINGUISHER ON UTILITY H-FRAME. INSTALL IN WEATHER PROOF CABINET & LABEL. THE EXTINGUISHER SHALL BE RATED 4-A80BC OR AS REQUIRED BY LOCAL FIRE AUTHORITY

A4.2  
PROPOSED VERIZON WIRELESS 17"x30" TRAFFIC RATED GROUND VAULTS FOR POWER, TELCO & FIBER LABELED "VERIZON WIRELESS" INSTALLED EVERY 300' OR AS REQUIRED

A4.1  
PROPOSED VERIZON WIRELESS UNDERGROUND POWER, TELCO & FIBER

A4.1  
PROPOSED VERIZON WIRELESS TELCO BOX MOUNTED TO UTILITY H-FRAME

A4.1  
PROPOSED VERIZON WIRELESS 200A SERVICE METER MOUNTED ON UTILITY H-FRAME

A4.1  
PROPOSED VERIZON WIRELESS INTERSECT PANEL ON UTILITY H-FRAME

A4.1  
PROPOSED VERIZON WIRELESS HOODED & DOWNTILTED SECURITY LIGHT

A4.1  
3/4" CRUSHED STONE BASE AT LEASE AREA

**Manuel S. Tshias, Architect**  
1520 River Park Drive, Sacramento, CA 95815  
916-505-3811  
**COMPLETE**  
Wireless Consulting, Inc.

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**Verizon**  
AXE HANDLE CANYON  
14855 PYRAMID WAY  
RENO, NV 89510

EQUIPMENT LAYOUT PLAN  
SHEET TITLE:

REGISTERED PROFESSIONAL ENGINEER  
No. 7285  
EXPIRES 12/31/17  
STATE OF NEVADA

Revisions:

File:162.1654_A21.dwg
Drawn By: MWS
Checked By: TST
Scale: AS NOTED
Date: 12/05/17

Job No. 162.1654

**A2.1**



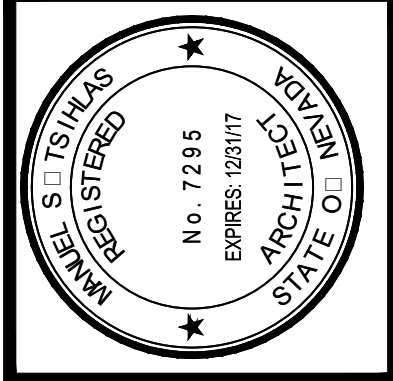
1 A2.1  
EQUIPMENT LAYOUT PLAN  
SCALE: 1/2" = 1'-0"

**Manuel S. Tshias, Architect**  
 1520 River Park Drive, Sacramento, CA 95815  
 916-505-3811

**COMPLETE**  
 Wireless Consulting, Inc.  
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**Verizon**  
 AXE HANDLE CANYON  
 14855 PYRAMID WAY  
 RENO, NV 89510

SHEET TITLE:  
**ANTENNA LAYOUT PLAN**



Revisions:

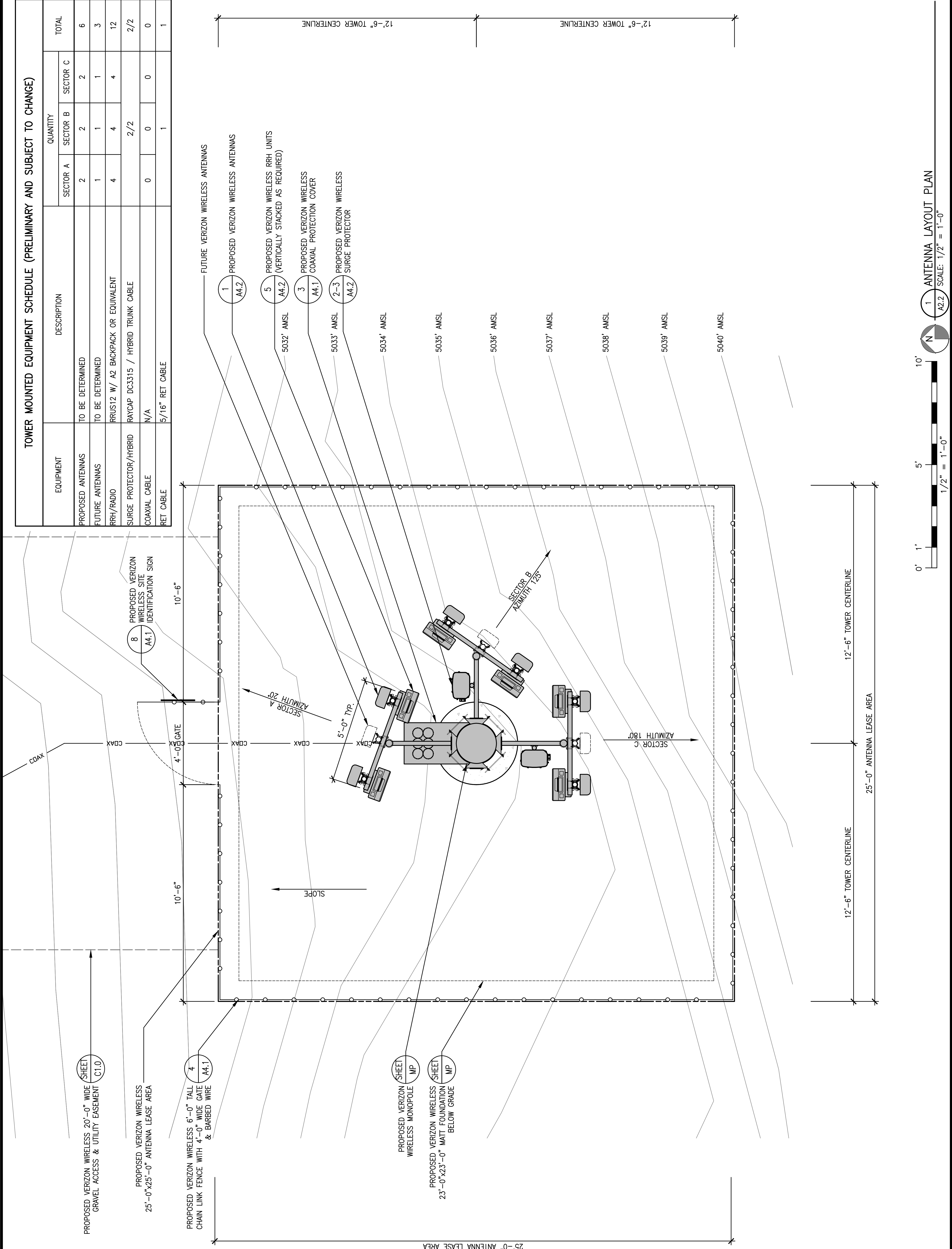

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Job No. 162.1654

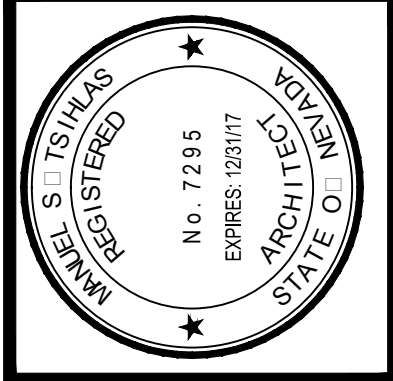
# A2.2

**TOWER MOUNTED EQUIPMENT SCHEDULE (PRELIMINARY AND SUBJECT TO CHANGE)**

EQUIPMENT	DESCRIPTION	QUANTITY			TOTAL
		SECTOR A	SECTOR B	SECTOR C	
PROPOSED ANTENNAS	TO BE DETERMINED	2	2	2	6
FUTURE ANTENNAS	TO BE DETERMINED	1	1	1	3
RRH/RADIO	RRUS12 W/ A2 BACKPACK OR EQUIVALENT	4	4	4	12
SURGE PROTECTOR/HYBRID	RAYCAP DC3315 / HYBRID TRUNK CABLE	0	2/2	2/2	2/2
COAXIAL CABLE	N/A	0	0	0	0
RET CABLE	5/16" RET CABLE	1	1	1	1



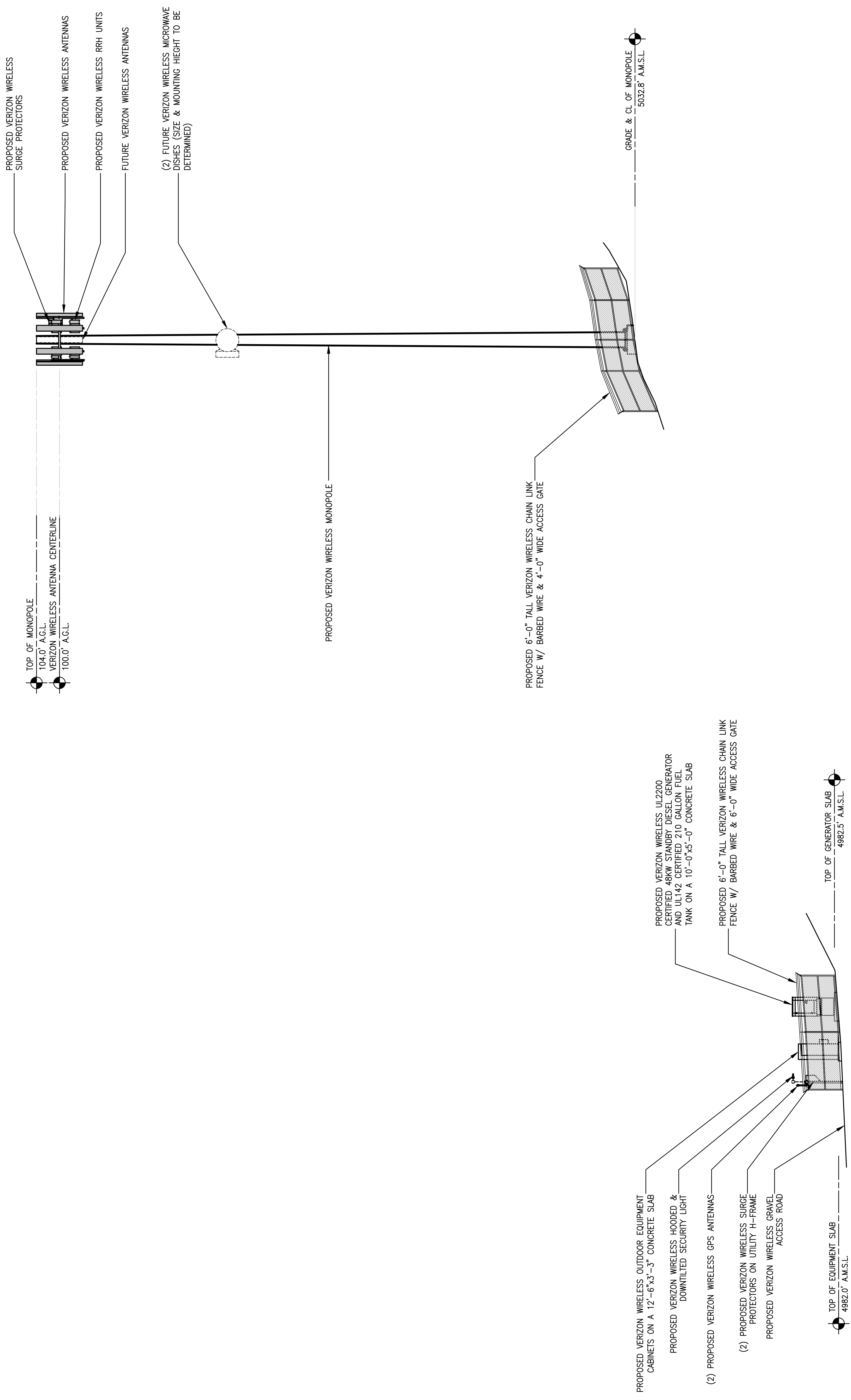
1 ANTENNA LAYOUT PLAN  
 A2.2 SCALE: 1/2" = 1'-0"



Revisions:	---
---	---
---	---
---	---

File: 162.1654\_A3.1.dwg  
 Drawn By: MWS  
 Checked By: TST  
 Scale: AS NOTED  
 Date: 12/05/17

Job No. 162.1654  
**A3.1**



1 WEST ELEVATION  
 A3.1 SCALE: 1/8" = 1'-0"

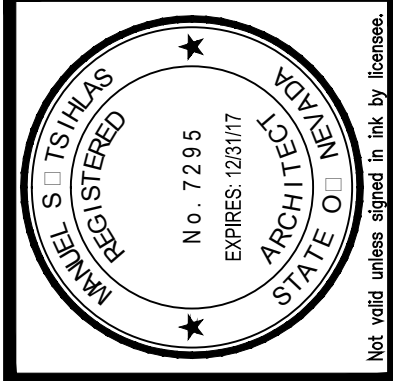
Manuel S. Tshias, Architect  
 1520 River Park Drive, Sacramento, CA 95815  
 916-505-3811

**COMPLETE**  
 Wireless Consulting, Inc.

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**Verizon**  
 AXE HANDLE CANYON  
 14855 PYRAMID WAY  
 RENO, NV 89510

SHEET TITLE:  
 PROJECT ELEVATIONS



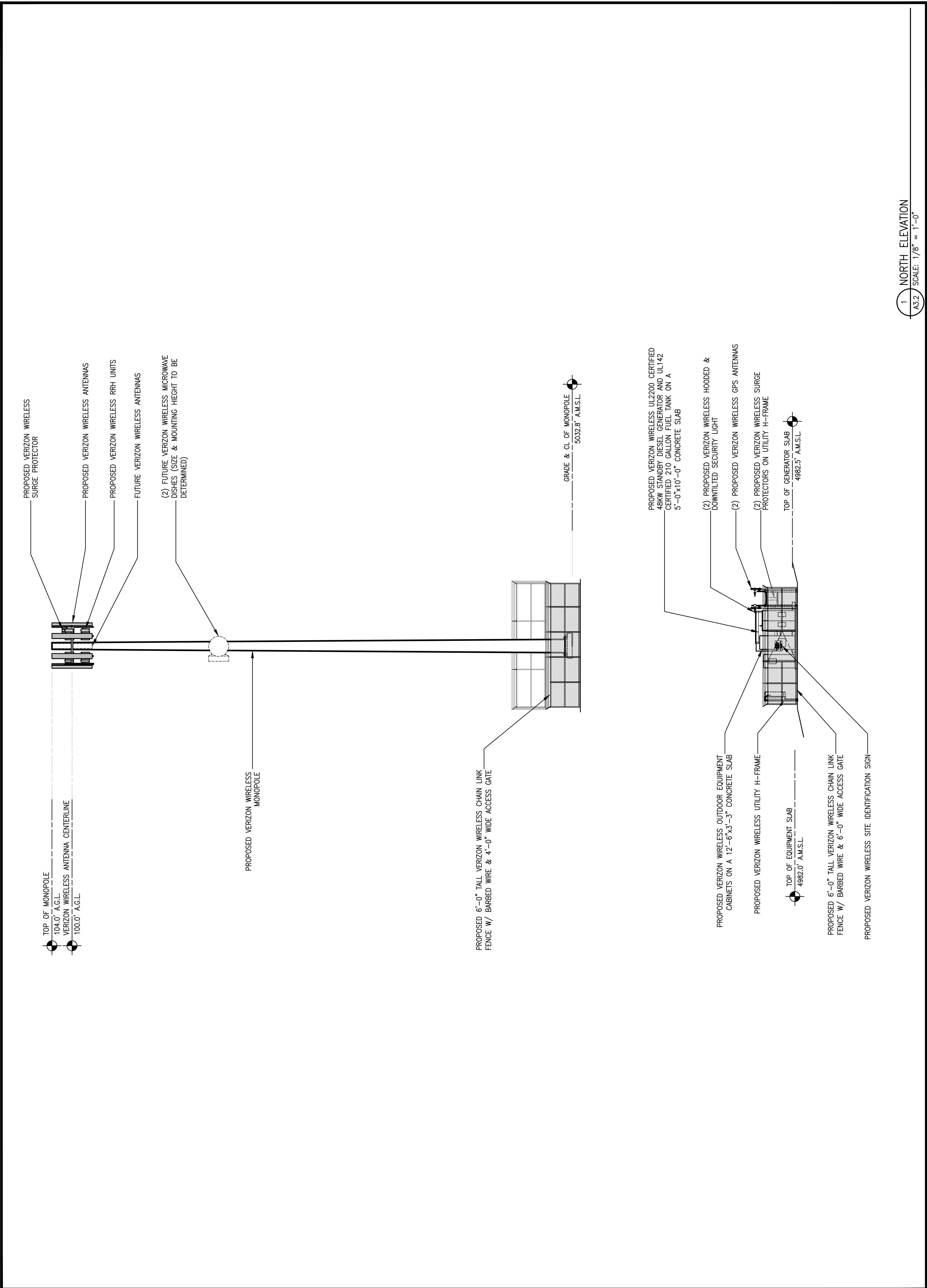
Revisions:

1	---
2	---
3	---
4	---

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 Drawn By: MWS  
 Checked By: TST  
 Scale: AS NOTED  
 Date: 12/05/17

Job No. 162.1654

# A3.2



1 NORTH ELEVATION  
 SCALE: 1/8" = 1'-0"

**GENERAL CONSTRUCTION NOTES:**

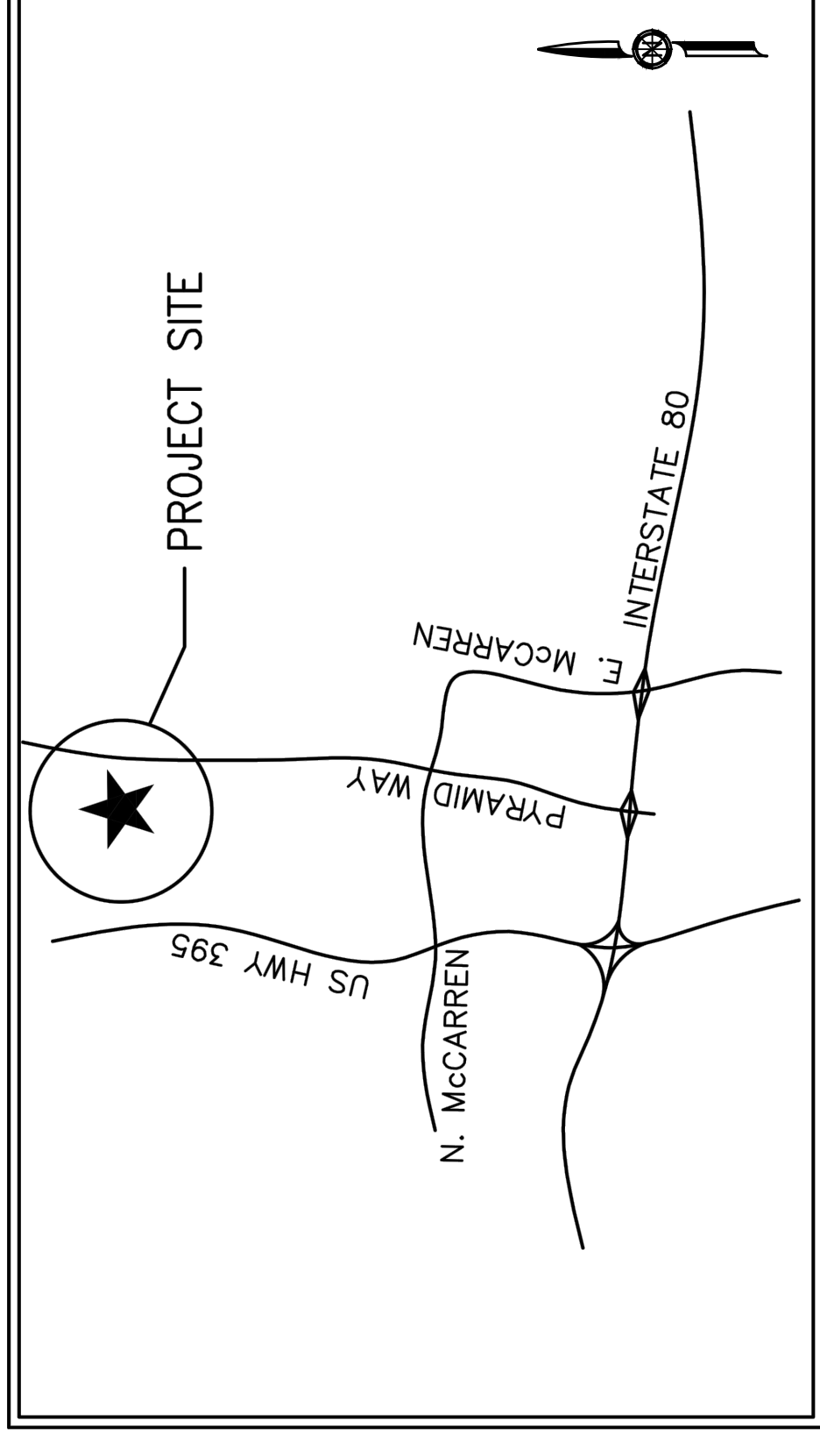
1. ALL GRADING SHALL CONFORM TO WASHOE COUNTY GRADING STANDARDS CODE SECTION 110.438.
2. FOR SITE PREPARATION, SUITABLE FILL MATERIAL, GRADING AND EARTHWORK ACTIVITIES, FOUNDATION SETBACKS AND OTHER GEOTECHNICAL RECOMMENDATIONS, REFER TO GEOTECHNICAL INVESTIGATION REPORT PREPARED BY MD PACIFIC ENGINEERING, INC., TITLED AXE HANDLE CANYON, LOCATION 298501, DATED SEPTEMBER 8, 2017, CONTACT TODD KAMISKY, PE AT 916-927-7000.
3. SURFACES RECEIVING FILL TO BE SCARIFIED TO A DEPTH OF EIGHT INCHES, UNIFORMLY MOISTURE CONDITIONED TO BETWEEN 0 AND 5 PERCENT ABOVE OPTIMUM MOISTURE CONTENT, AND COMPACTED TO AT LEAST 90 PERCENT OF THE MAXIMUM DRY DENSITY PER ASTM D1557. SUBGRADE AREAS TO BE SURFACED WITH GRAVEL TO BE UNIFORMLY MOISTURE CONDITIONED BETWEEN 1 AND 3 PERCENT ABOVE OPTIMUM MOISTURE CONTENT, AND COMPACTED TO AT LEAST 95 PERCENT RELATIVE COMPACTION. IN THE EVENT THE EXPOSED SUBGRADE CONSISTS OF UNDISTURBED ON-SITE ROCK, SCARIFICATION AND MOISTURE CONDITIONING MAY BE OMITTED IF APPROVED BY THE PROJECT GEOTECHNICAL ENGINEER.
4. WITHIN AREAS GRUBBED OR OTHERWISE DISTURBED BELOW AN APPROXIMATE DEPTH OF 12 INCHES, IN-PLACE SCARIFICATION AND COMPACTION MAY NOT BE ADEQUATE TO DENSIFY ALL DISTURBED SOIL. THEREFORE, OVER-EXCAVATION OF THE DISTURBED SOIL, SCARIFICATION AND COMPACTION OF THE EXPOSED SUBGRADE, AND REPLACEMENT WITH ENGINEERED FILL MAY BE REQUIRED IN THESE AREAS.
5. IF GRADING IS PERFORMED DURING RAINY SEASON (WINTER OR SPRING MONTHS) OR AFTER SIGNIFICANT PRECIPITATION OR IRRIGATION, AND OVER-OPTIMUM SOIL CONDITIONS ARE ENCOUNTERED, THE PROJECT GEOTECHNICAL ENGINEER IS TO BE CONSULTED TO REVIEW CONDITIONS AND PROVIDE TREATMENT RECOMMENDATIONS.

EARTHWORK SUMMARY (LIME TREATED) (CY)		
RAW SURFACE GRADING	CUT	FILL (NET CUT-FILL)
908.06	825.26	82.8
SECTION GRADING ADJUSTMENTS		
ACCESS ROADWAY	57.9	57.9
FIRETRUCK TURNAROUND	80.6	80.6
EQUIPMENT PAD	4.6	4.6
<b>TOTAL</b>	<b>1051.13</b>	<b>825.26</b>

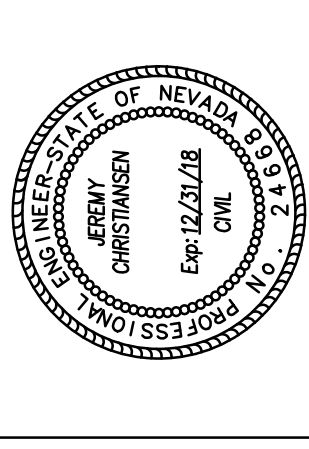
CUT/EXPORT 225.9

\*ALL VOLUMES ARE PRELIMINARY AND ARE BASED ON GEOTECHNICAL REPORT MINIMUM RECOMMENDATIONS.

DISTURBED AREA = 0.448 ACRES  
 MAX CUT DEPTH = 9.94 FT  
 MAX FILL HEIGHT = 6.85 FT



MARK	DATE	DESCRIPTION
△		
△		
△		
△		
△		



**CARTWRIGHT ENGINEERS**  
 4180 Douglas Blvd., Suite 200  
 Granite Bay, California 95746  
 T (916) 978-4001  
 www.cartwrightengineers.com  
 Copyright © 2017 Cartwright-MEC

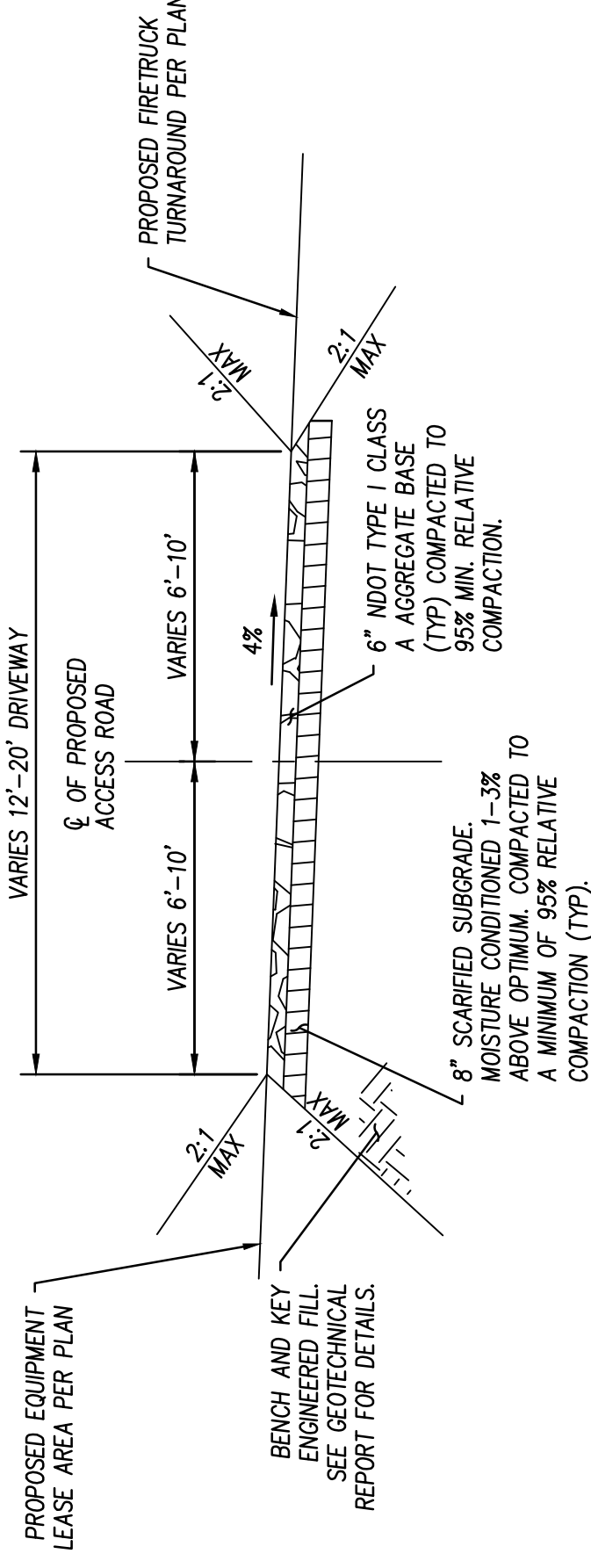
AXE HANDLE CANYON  
 14855 PYRAMID WAY  
 RENO, NV 89510  
 APN: 076-272-03

PROJECT #: 216013  
 SCALE: NTS  
 DATE: 11/08/2017

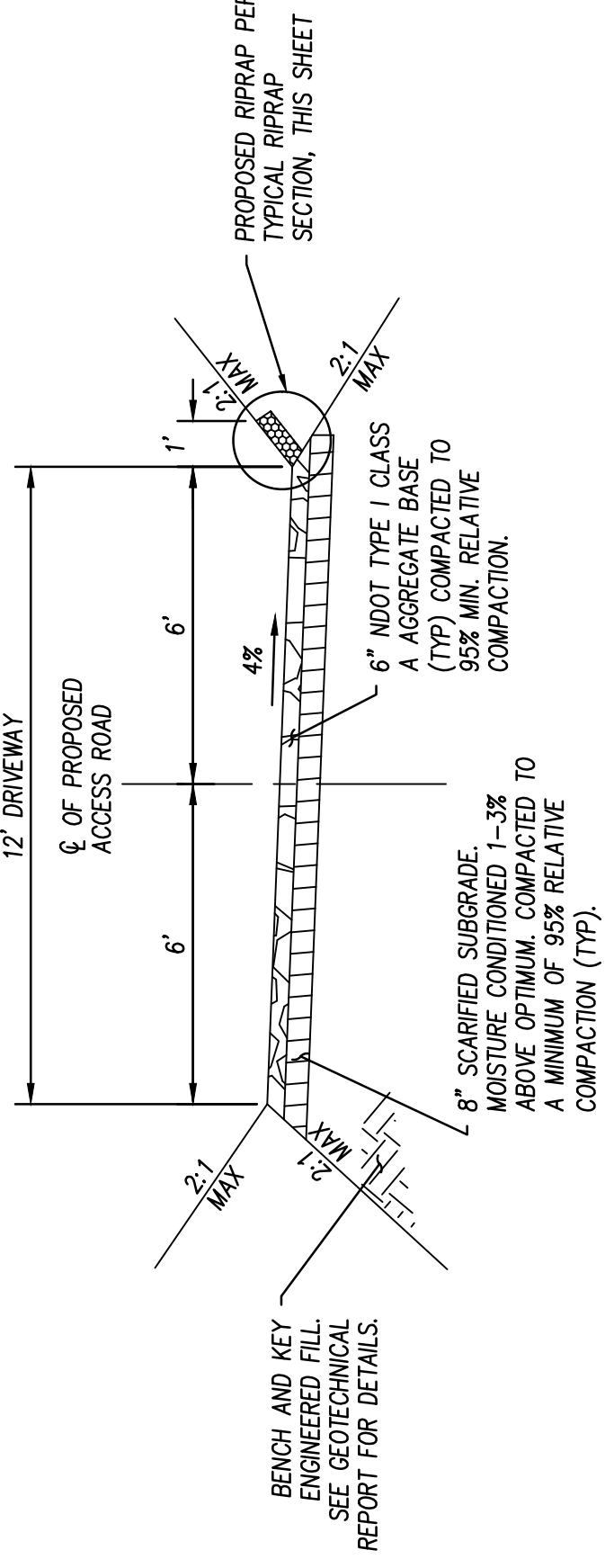
APPROVALS  
 DESIGNED BY: JDC  
 DRAWN BY: SD  
 CHECKED BY: JDC/SL

SHEET TITLE  
 GENERAL NOTES AND ACCESS ROAD TYPICAL SECTIONS

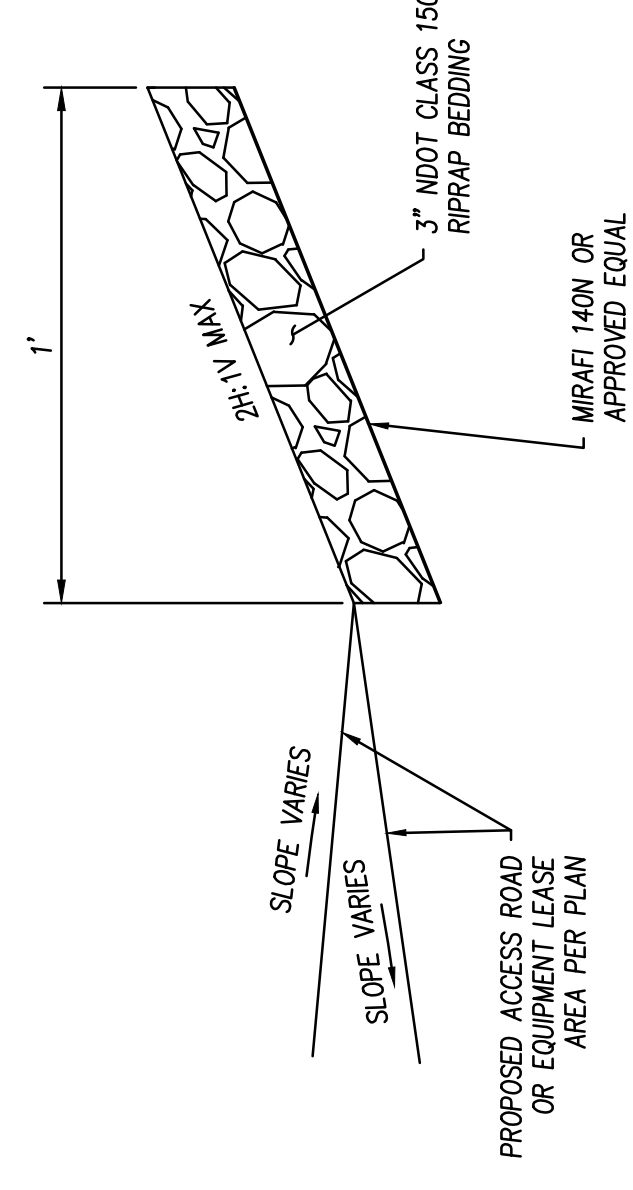
SHEET NUMBER  
**C1.0**



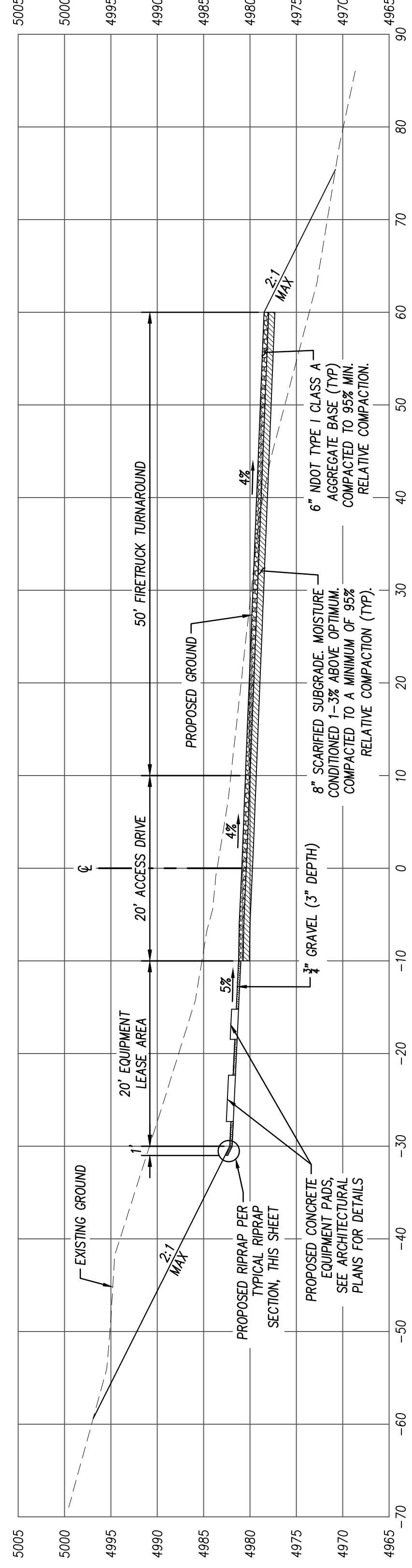
TYPICAL GRAVEL ACCESS ROAD SECTION  
 STA 2+61.16-4+07.16  
 NOT TO SCALE



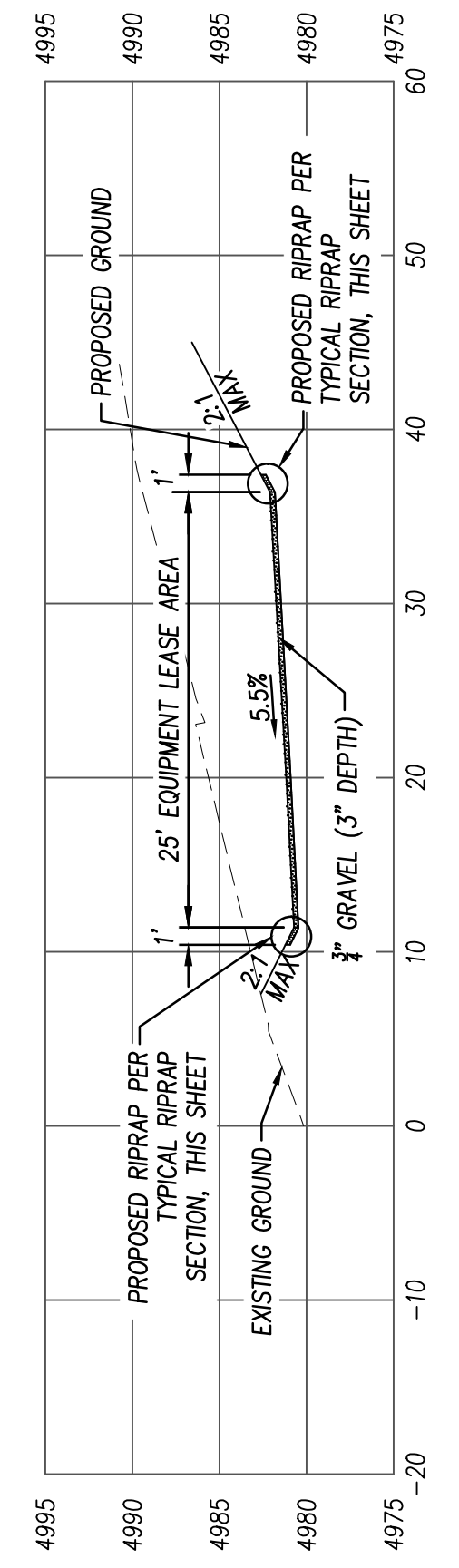
TYPICAL GRAVEL ACCESS ROAD SECTION  
 STA 0+03.84-2+61.16  
 NOT TO SCALE



TYPICAL RIPRAP SECTION  
 NOT TO SCALE

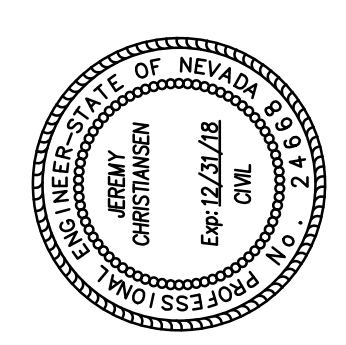


SECTION A-A  
 HORIZONTAL SCALE: 1"=10'  
 VERTICAL SCALE: 1"=10'



SECTION B-B  
 HORIZONTAL SCALE: 1"=10'  
 VERTICAL SCALE: 1"=10'

MARK	DATE	DESCRIPTION
△		
△		
△		
△		



AXE HANDLE CANYON  
14855 PYRAMID WAY  
RENO, NV 89510  
APN: 076-272-03

PROJECT #: 216013  
SCALE: 1"=20'  
DATE: 11/08/2017

DESIGNED BY: JDC  
DRAWN BY: SD  
CHECKED BY: JDC/SL

SHEET TITLE  
ACCESS ROAD  
PLAN AND PROFILE

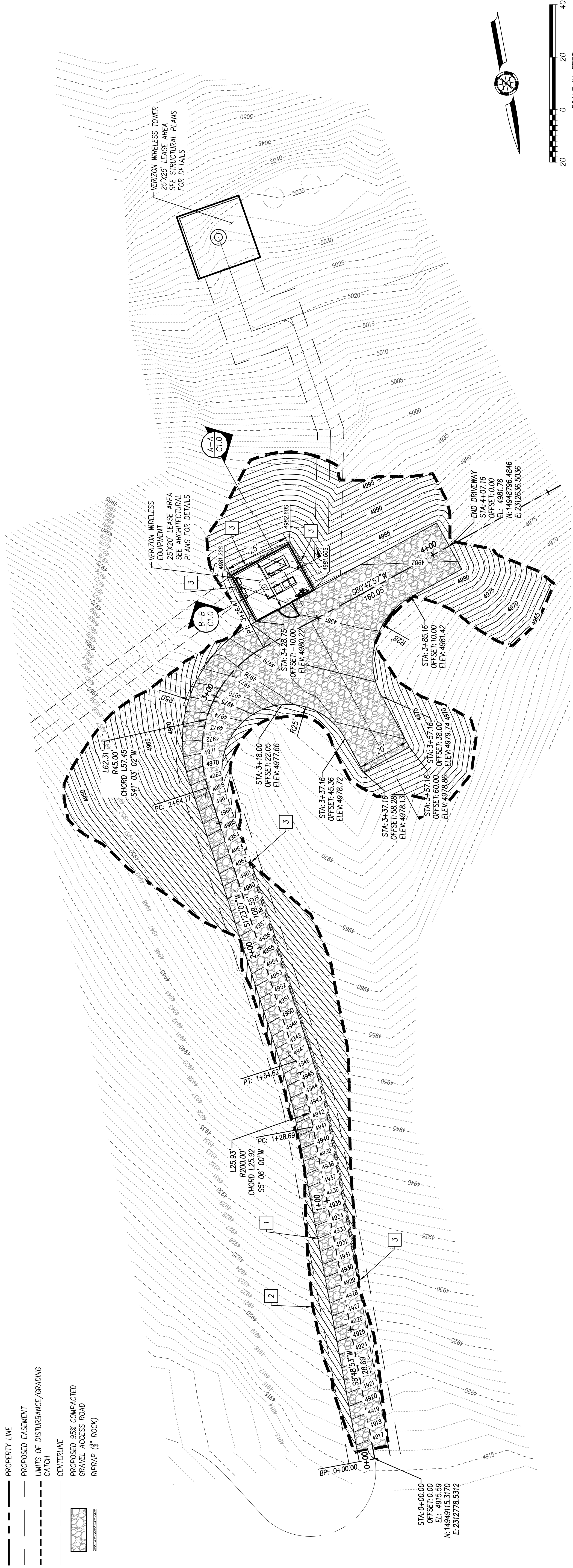
SHEET NUMBER  
**C1.1**

**SITE CONSTRUCTION NOTES:**

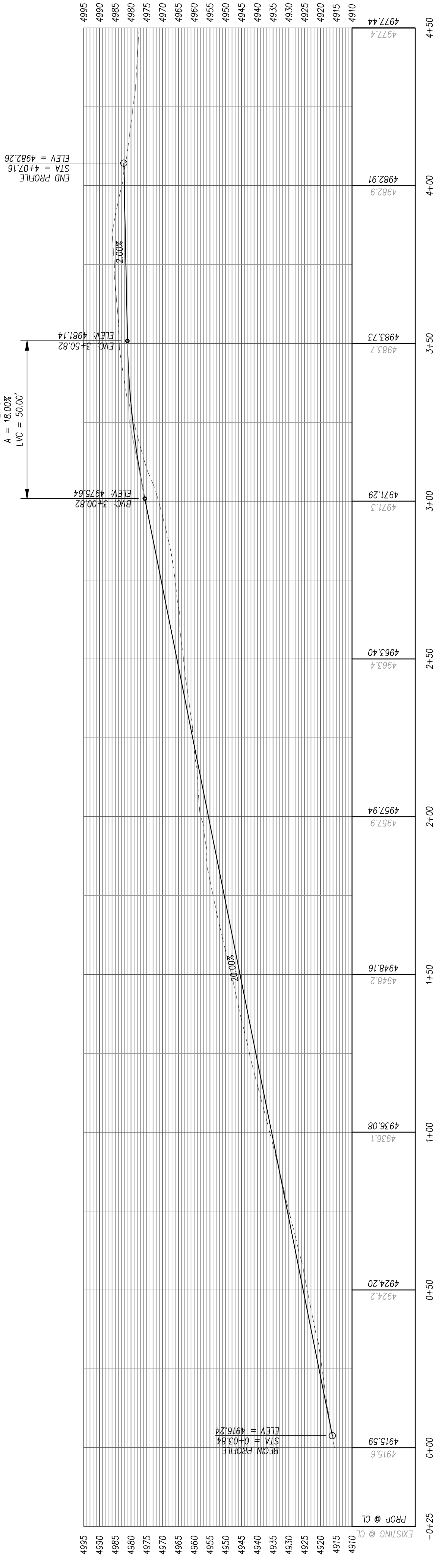
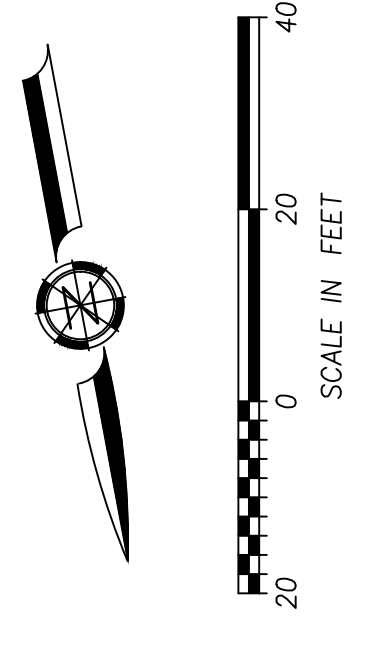
- 1 CONSTRUCT 12' WIDE GRAVEL ROAD.
- 2 LIMITS OF DISTURBANCE, DAYLIGHT MAX 2:1 SLOPE.
- 3 PROPOSED RIPRAP PER TYPICAL RIPRAP SECTION ON SHEET C1.0.

**LEGEND**

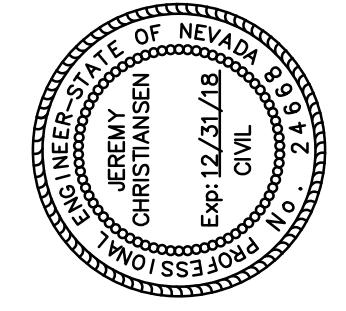
- 5014 - - - - - EXISTING 1-FT CONTOUR
- 5015 - - - - - EXISTING 5-FT CONTOUR
- 5014 - - - - - PROPOSED 1-FT CONTOUR
- 5015 - - - - - PROPOSED 5-FT CONTOUR
- XX.XXS SPOT ELEVATION
- — — — — PROPERTY LINE
- — — — — PROPOSED EASEMENT
- — — — — LIMITS OF DISTURBANCE/GRADING CATCH
- — — — — CENTERLINE
- PROPOSED 95% COMPACTED GRAVEL ACCESS ROAD
- RIPRAP (R ROCK)



**PLAN VIEW**  
HORIZONTAL SCALE: 1"=20'



**ACCESS ROAD PROFILE**  
HORIZONTAL SCALE: 1"=20'  
VERTICAL SCALE: 1"=20'



AXE HANDLE CANYON  
14855 PYRAMID WAY  
RENO, NV 89510  
APN: 076-272-03

PROJECT #: 216013

SCALE: 1"=30'

DATE: 11/08/2017

APPROVALS	
DESIGNED BY:	JDC
DRAWN BY:	SD
CHECKED BY:	JDC/SL

SHEET TITLE  
EROSION AND SEDIMENT CONTROL

SHEET NUMBER  
**C2.0**

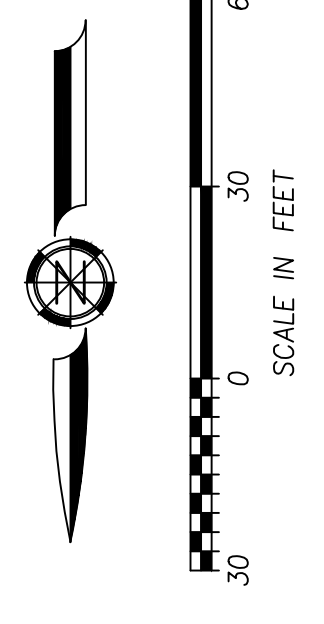
MARK	DATE	DESCRIPTION
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**LEGEND**

- EXISTING 2-FT CONTOUR
- EXISTING 10-FT CONTOUR
- PROPOSED 2-FT CONTOUR
- PROPOSED 10-FT CONTOUR
- SEDIMENT LOC PER NDOT BMP STD SC-5
- LIMITS OF DISTURBANCE

**EROSION AND SEDIMENT CONTROL NOTES:**

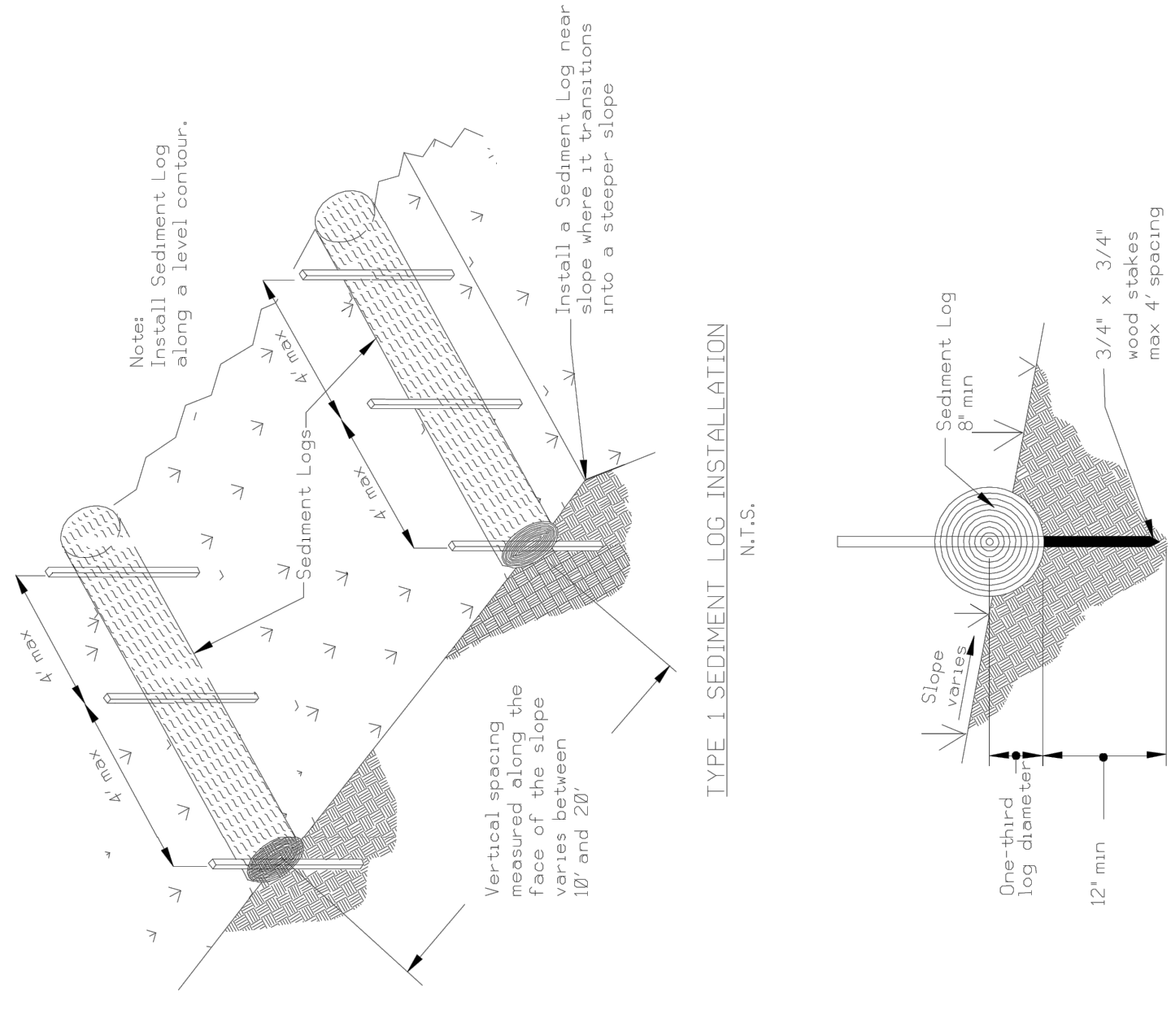
- 1 CONSTRUCT TEMPORARY EROSION CONTROL - UTILIZE SEDIMENT LOGS PER NDOT BMP STD. SC-5. SEE DETAIL ON SHEET C2.1.
- 2 PROPOSED SITE CONCRETE WASTE MANAGEMENT AREA PER NDOT BMP STD. WM-6.
- 3 CONSTRUCT PERMANENT EROSION CONTROL - TRACKWALK AND INSTALL CONCRETE PAVED EROSION CONTROL PRODUCT ON ALL SLOPES GREATER THAN 3% WITH HYDROSEED WITH MIX MEETING WASHOE COUNTY STANDARDS. SEE NDOT BMP STD. SS-7 ON SHEET C2.1.





### Sediment Logs

Adapted from California Construction Site BMPs



TYPE I SEDIMENT LOG INSTALLATION  
N.T.S.

ENTRENCHMENT DETAIL  
N.T.S.

**NEVADA**  
**DCI**

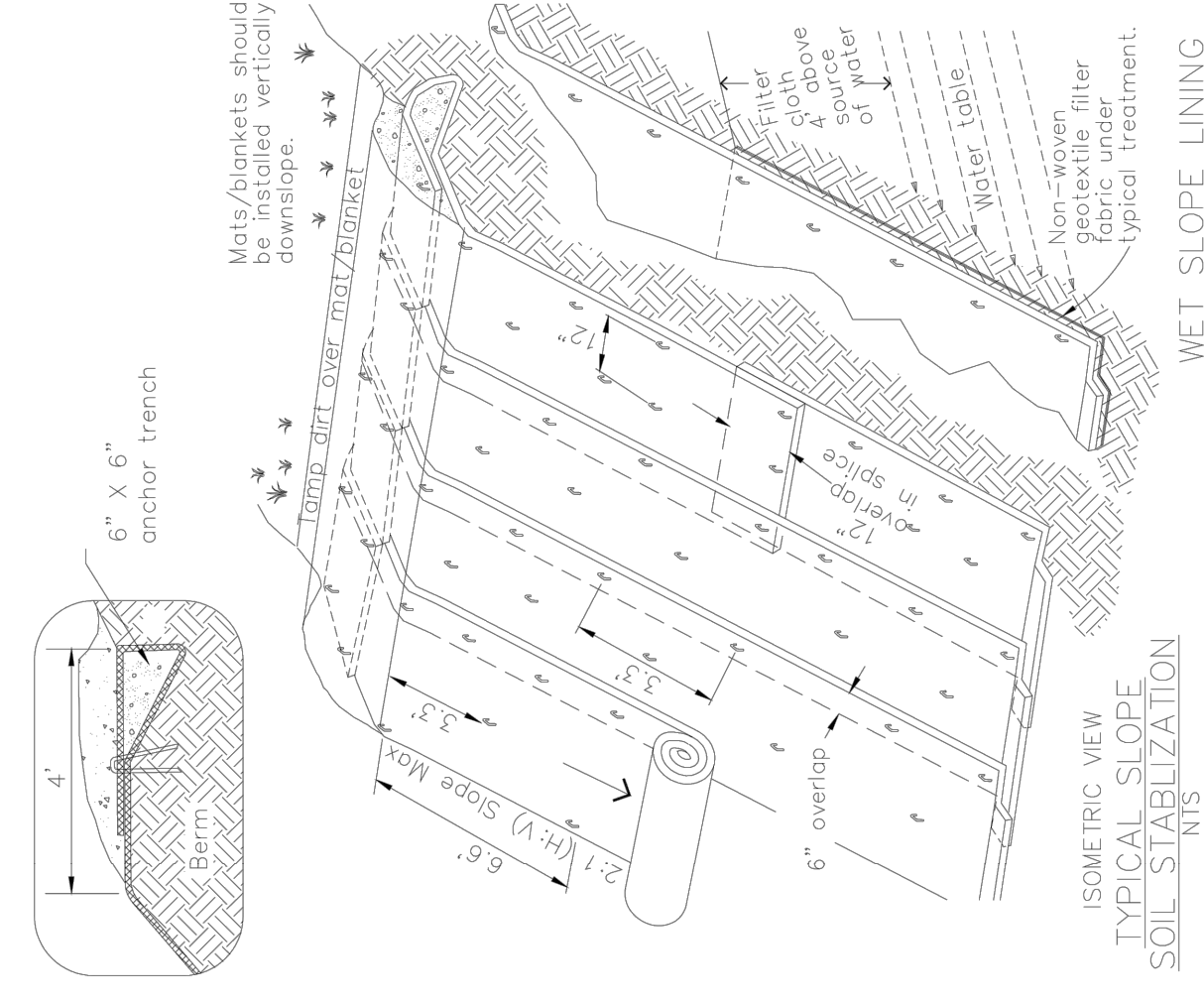
Storm Water Quality Handbooks  
Construction Site BMPs Manual  
January 2006

5 of 6

### SS-7

### Geotextiles, Mats, Plastic Covers and Erosion Control Blankets

Adapted from California Construction Site BMPs



ISOMETRIC VIEW  
TYPICAL SLOPE  
SOIL STABILIZATION  
N.T.S.

WET SLOPE LINING  
N.T.S.

- NOTES:
- Slope surface shall be free of rocks, clods, sticks and grass. Mats/blankets shall have good soil contact.
  - Lay blankets loosely and stake or staple to maintain direct contact with the soil. Do not stretch.
  - Install per manufacturer's recommendations.

10 of 11

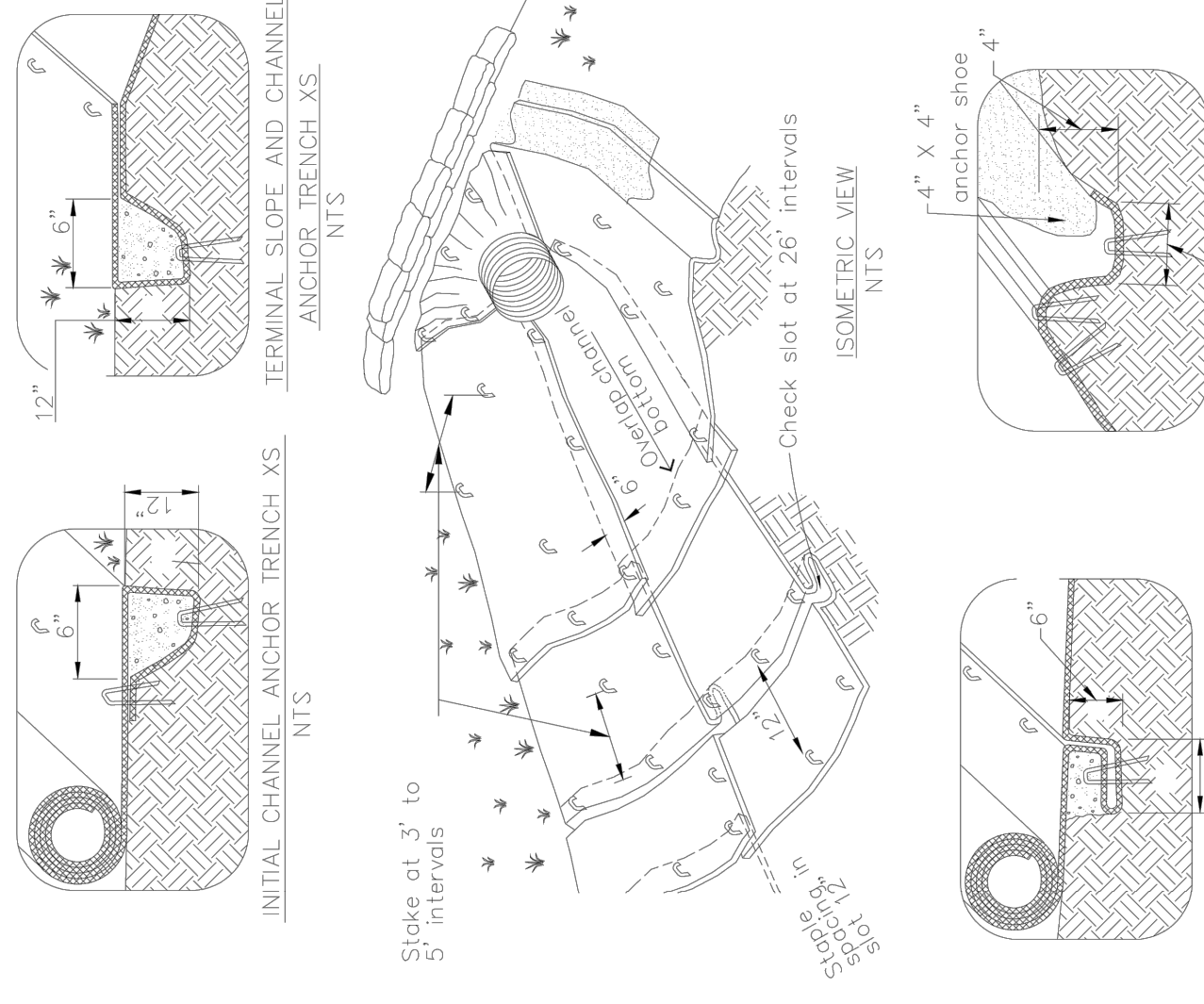
**NEVADA**  
**DCI**

Storm Water Quality Handbooks  
Construction Site BMPs Manual  
May 2004

### SS-7

### Geotextiles, Mats, Plastic Covers and Erosion Control Blankets

Adapted from California Construction Site BMPs



INTERMITTENT CHECK SLOT XS  
N.T.S.

LONGITUDINAL ANCHOR TRENCH XS  
N.T.S.

- NOTES:
- Check slots to be constructed per manufacturer's specifications.
  - Staking or stapling layout per manufacturer's specifications.
  - Install per manufacturer's recommendations.

11 of 11

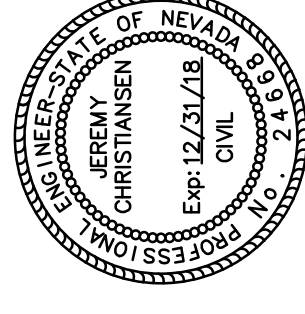
**NEVADA**  
**DCI**

Storm Water Quality Handbooks  
Construction Site BMPs Manual  
May 2004

**CARTWRIGHT**  
ENGINEERS

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Granite Bay, California 95746  
T (916) 978-4001  
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MARK	DATE	DESCRIPTION
△		
△		
△		
△		



AXE HANDLE CANYON  
14855 PYRAMID WAY  
RENO, NV 89510  
APN: 076-272-03

PROJECT #: 216013

SCALE: N/A

DATE: 11/08/2017

APPROVALS	
DESIGNED BY:	JDC
DRAWN BY:	SD
CHECKED BY:	JDC/SL

SHEET TITLE  
EROSION AND SEDIMENT  
CONTROL DETAILS

SHEET NUMBER

**C2.1**

**From:** Michelle Ellis  
**To:** [Krause, Eva](#)  
**Subject:** Additional grading details - Axe Handle Canyon  
**Date:** Wednesday, January 17, 2018 2:29:51 PM

---

Hi Eva,

Additional grading details are listed below:

3. We are disturbing 0.448 acres of the surface of the property. That is 19,514.88 square feet.

4. 825.26 cubic yards of material will be imported to complete the grading work. The updated earthwork summary is below:

EARTHWORK SUMMARY (LIME TREATED) (CY)			
	CUT	FILL	NET (CUT-FILL)
RAW SURFACE GRADING	908.06	825.26	82.8
SECTION GRADING ADJUSTMENTS			
ACCESS ROADWAY	57.9		57.9
FIRETRUCK TURNAROUND	80.6		80.6
EQUIPMENT PAD	4.6		4.6
<b>TOTAL</b>	<b>1051.13</b>	<b>825.26</b>	<b>225.9</b>

CUT/EXPORT

\*ALL VOLUMES ARE PRELIMINARY AND ARE BASED ON GEOTECHNICAL REPORT MINIMUM RECOMMENDATIONS.

DISTURBED AREA = 0.448 ACRES  
 MAX CUT DEPTH = 9.94 FT  
 MAX FILL HEIGHT = 6.85 FT

10. The slope varies from 4-5.5% in the cut and fill areas. The slope stability on the gravel access road is: STA 0+3.84-2+61.16 and STA 2+61.16-4+7.16. Disturbance is limited to a daylight max 2:1 slope.

The architect's notes on erosion and sediment control measures are as follows:

### **EROSION AND SEDIMENT CONTROL NOTES:**



CONSTRUCT TEMPORARY EROSION CONTROL – UTILIZE SEDIMENT LOGS PER NDOT BMP STD. SC-5. SEE DETAIL ON SHEET C2.1.



PROPOSED SITE CONCRETE WASTE MANAGEMENT AREA PER NDOT BMP STD. WM-6.



CONSTRUCT PERMANENT EROSION CONTROL – TRACKWALK AND INSTALL BIODEGRADABLE ROLLED EROSION CONTROL PRODUCT ON ALL SLOPES GREATER THAN 3H:1V. HYDROSEED WITH MIX MEETING WASHOE COUNTY STANDARDS. SEE NDOT BMP STD. SS-7 ON SHEET C2.1.

12. No retaining walls will be required.

Let me know if you need anything else!

Thanks,  
Michelle

**Michelle Ellis**  
**Senior Land Use Planning Manager**  
**Complete Wireless Consulting**

(916) 764-2454

(916) 313-3730 fax

[MEllis@completewireless.net](mailto:MEllis@completewireless.net)

2009 V Street  
Sacramento, CA 95818

## Items to be Attached to All New Site Build Drawings

### ZDs

#### LEASING

- 1A (always)
- If colo, attach tower owner's FAA/ASR. Note on our surveyor's 1A "for reference only, use attached tower owner's FAA/ASR."
- If colo, have T1 sheet note tower owner's GPS coordinates & remove our surveyor's coordinates on survey page.
- If colo, make certain heights on elevation pages match tower owner's FAA/ASR.
- If colo, attached colo app.

#### PLANNING

none

#### CONSTRUCTION

- Note on sign off telco provider or microwave

#### ALL

- Note initials for VZW team & any "other" necessary reviewer

### CDs

#### LEASING

- Colo app/lease exhibit (if applicable)

#### PLANNING

- COAs (with all applicable COAs checked off & referenced in plans)

**N/A Still in Planning (ME)**

#### CONSTRUCTION

- Power Engineering (previously sent to the entire team, upon receipt to insure compliance w/ lease & planning approval)
- Telco Engineering (previously sent to the entire team, upon receipt to insure compliance w/ lease & planning approval)

#### ALL

- Note initials for VZW team & any "other" necessary reviewer

Geil Engineering  
Engineering \* Surveying \* Planning  
1226 High Street  
Auburn, California 95603-5015  
Phone: (530) 885-0426 \* Fax: (530) 823-1309

Verizon Wireless

Project Name: Axe Handle Canyon

Project Site Location: 14855 Pyramid Way  
Reno, NV 89510  
Washoe County

Date of Observation: 08-27-15

Equipment/Procedure Used to Obtain Coordinates: Trimble GeoXT post processed with Pathfinder Office software.

Type of Antenna Mount: Proposed Monopole  
Coordinates:

Latitude: N 39°45'29.61" (NAD83)      N 39°45'29.94" (NAD27)  
Longitude: W 119°41'35.21" (NAD83)      W 119°41'31.54" (NAD27)

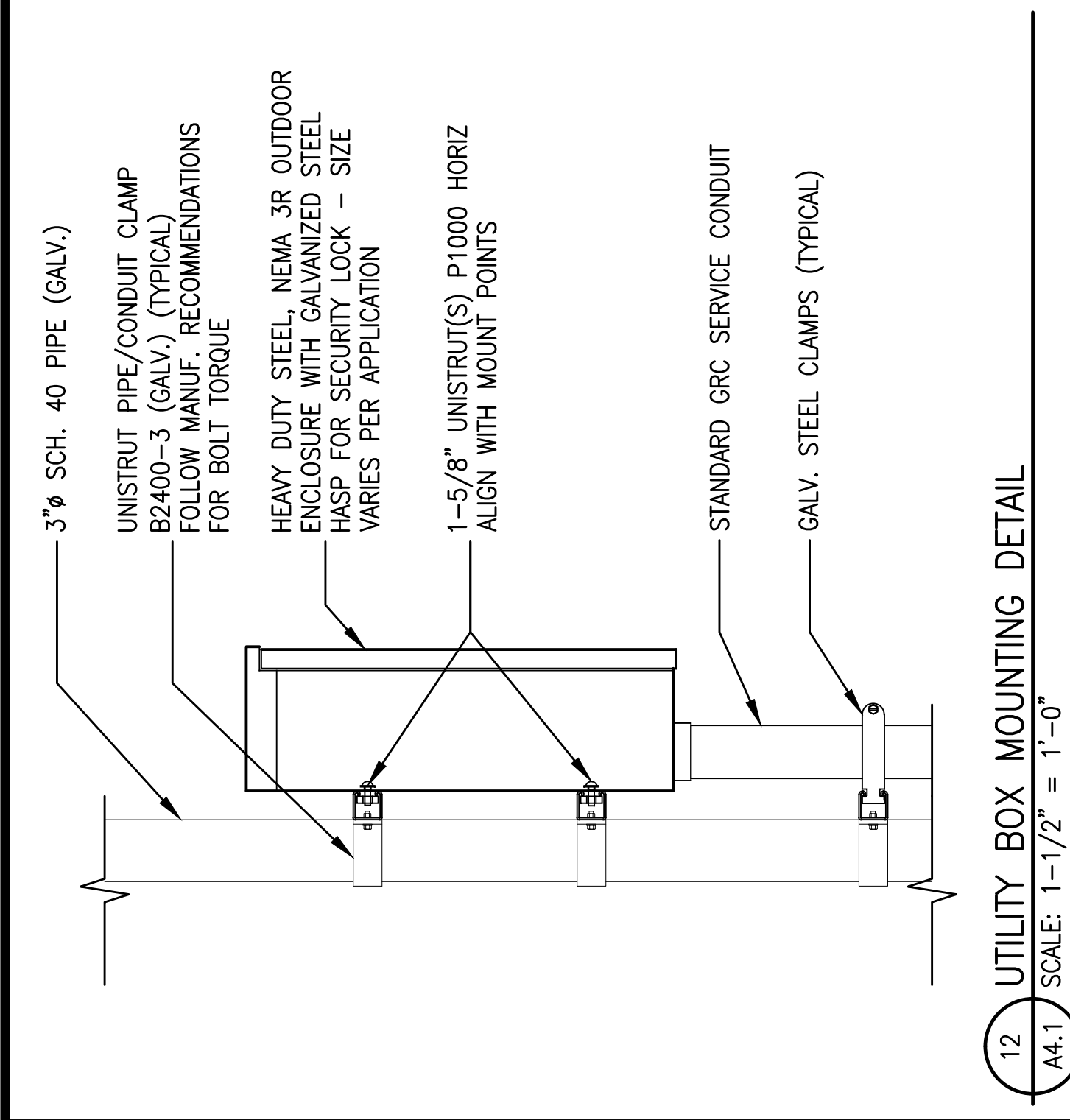
ELEVATION of Ground at Structure (NAVD88)      5035' AMSL

CERTIFICATION: I, the undersigned, do hereby certify elevation listed above is based on a field survey done under my supervision and that the accuracy of those elevations meet or exceed 1-A Standards as defined in the FAA ASAC Information Sheet 91:003, and that they are true and accurate to the best of my knowledge and belief.

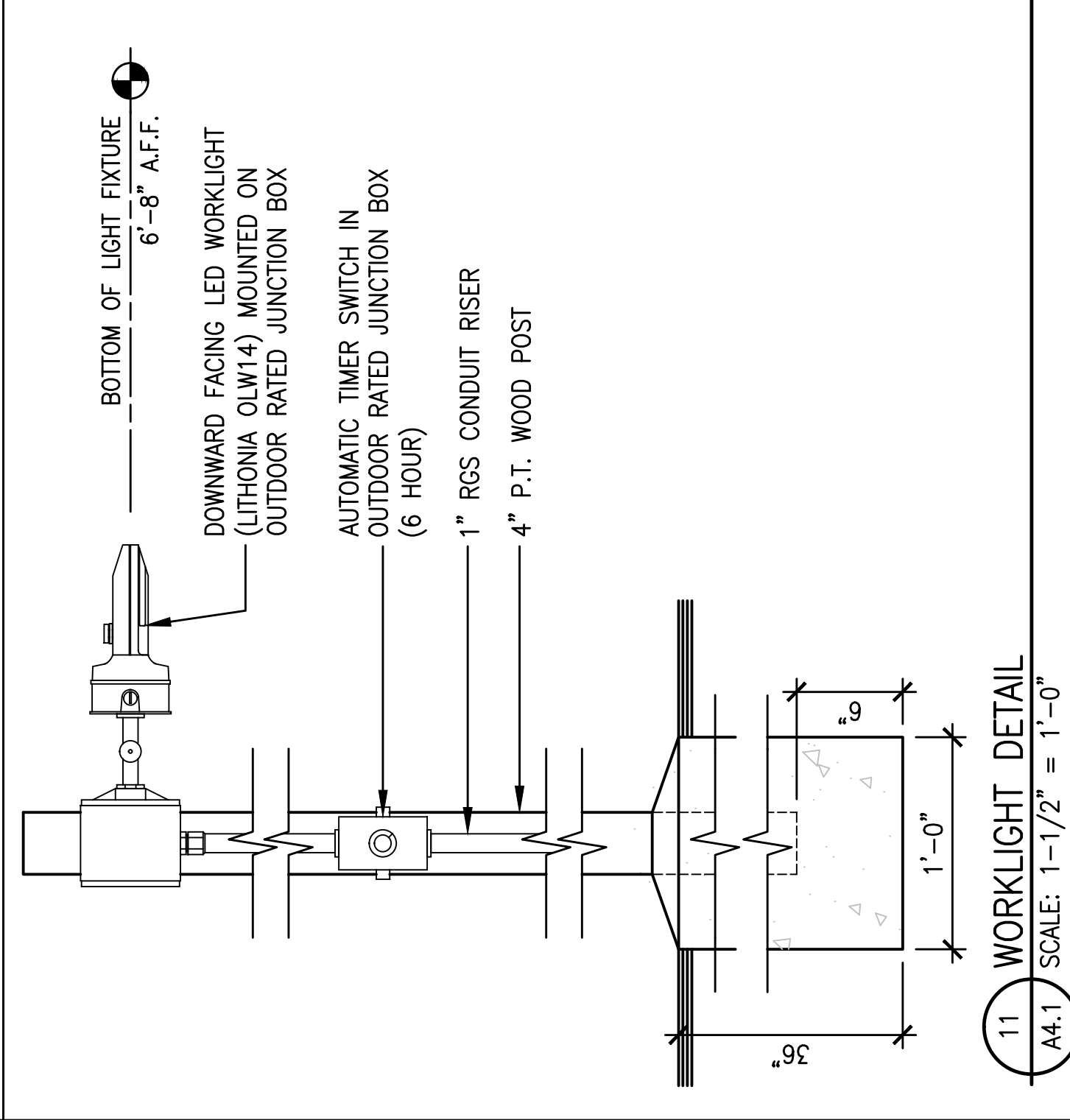
  
Kenneth D. Geil PLS 13385



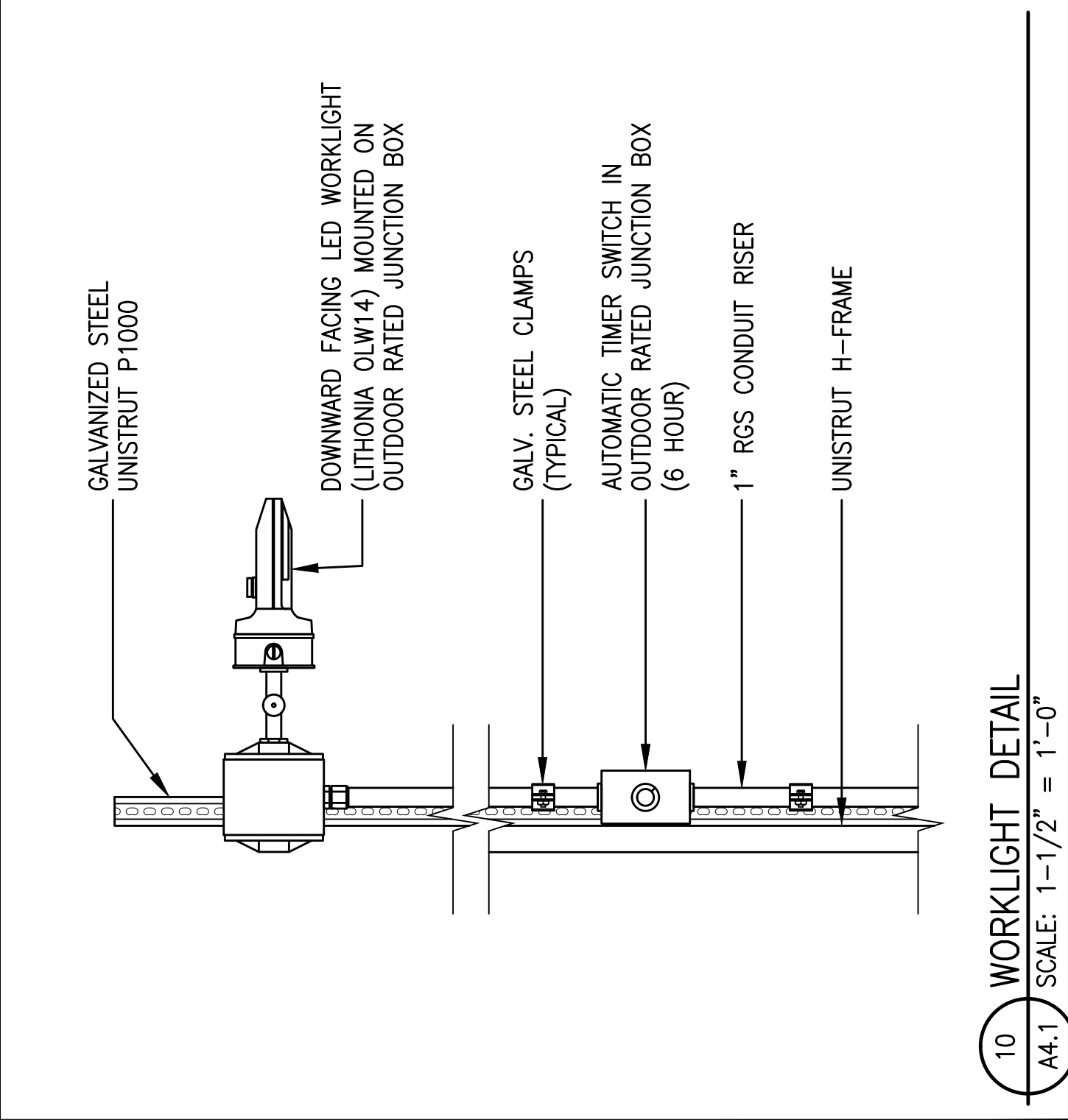
EXP. 06-30-19



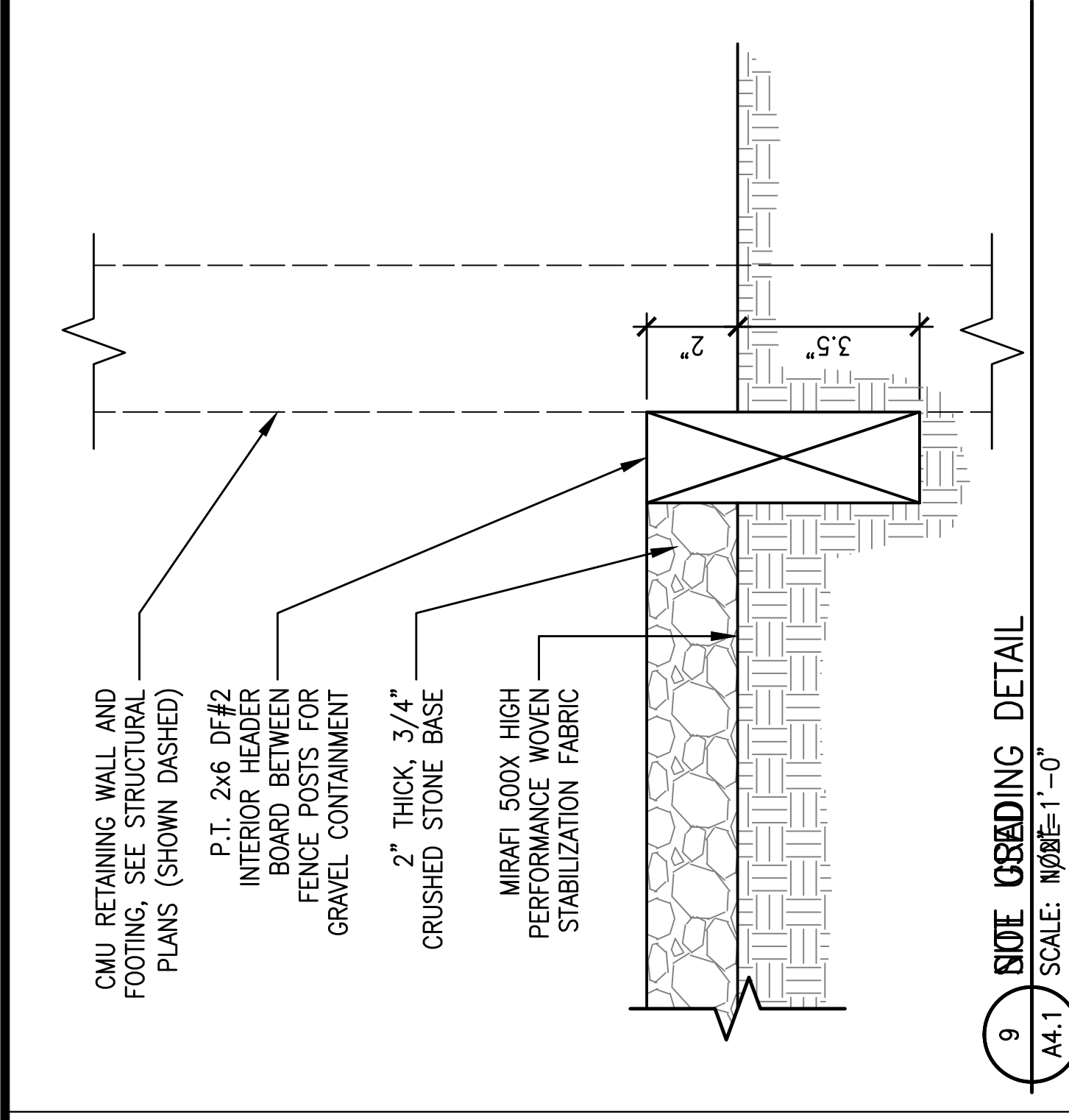
12 UTILITY BOX MOUNTING DETAIL  
A4.1 SCALE: 1-1/2" = 1'-0"



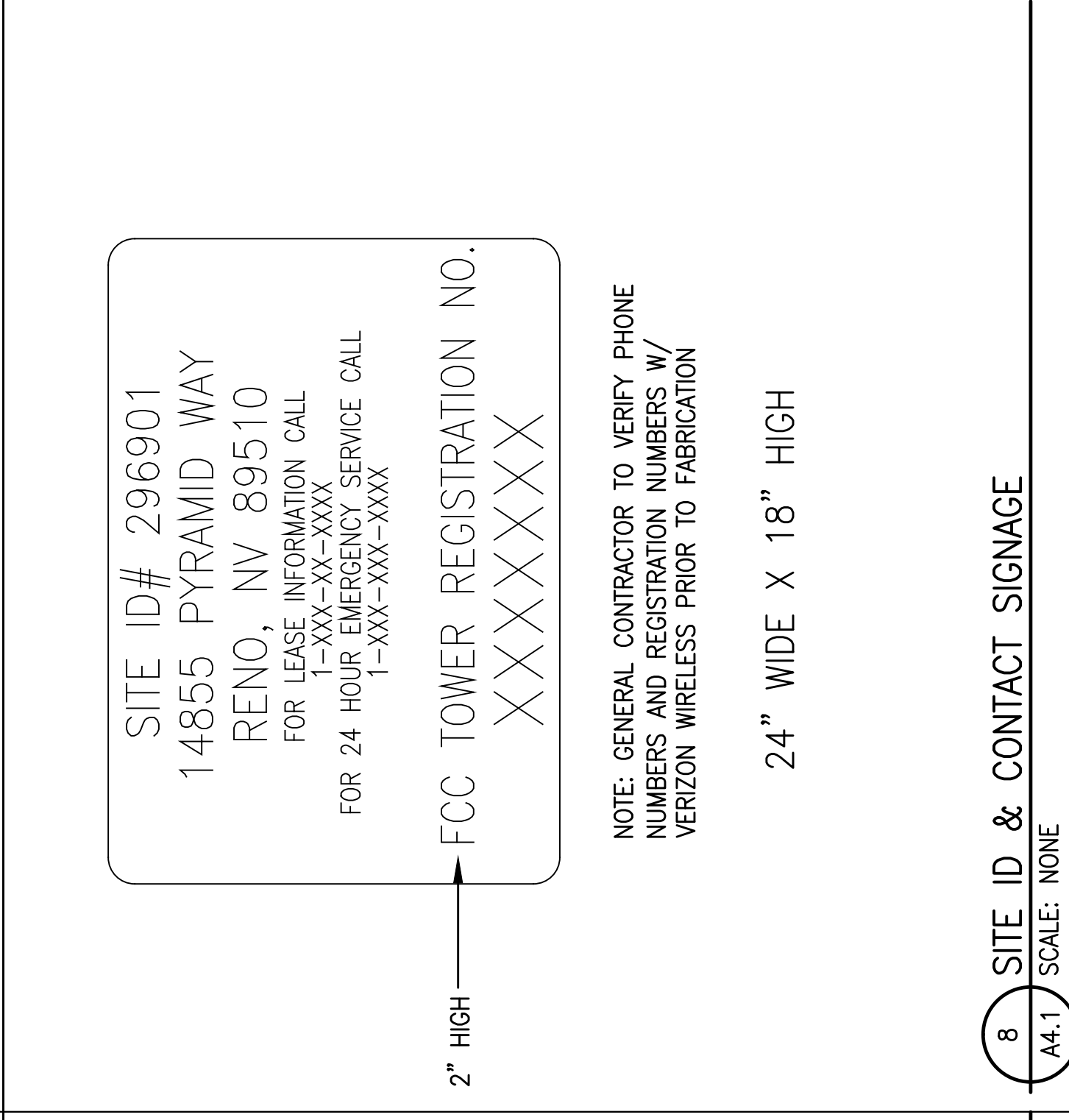
11 WORKLIGHT DETAIL  
A4.1 SCALE: 1-1/2" = 1'-0"



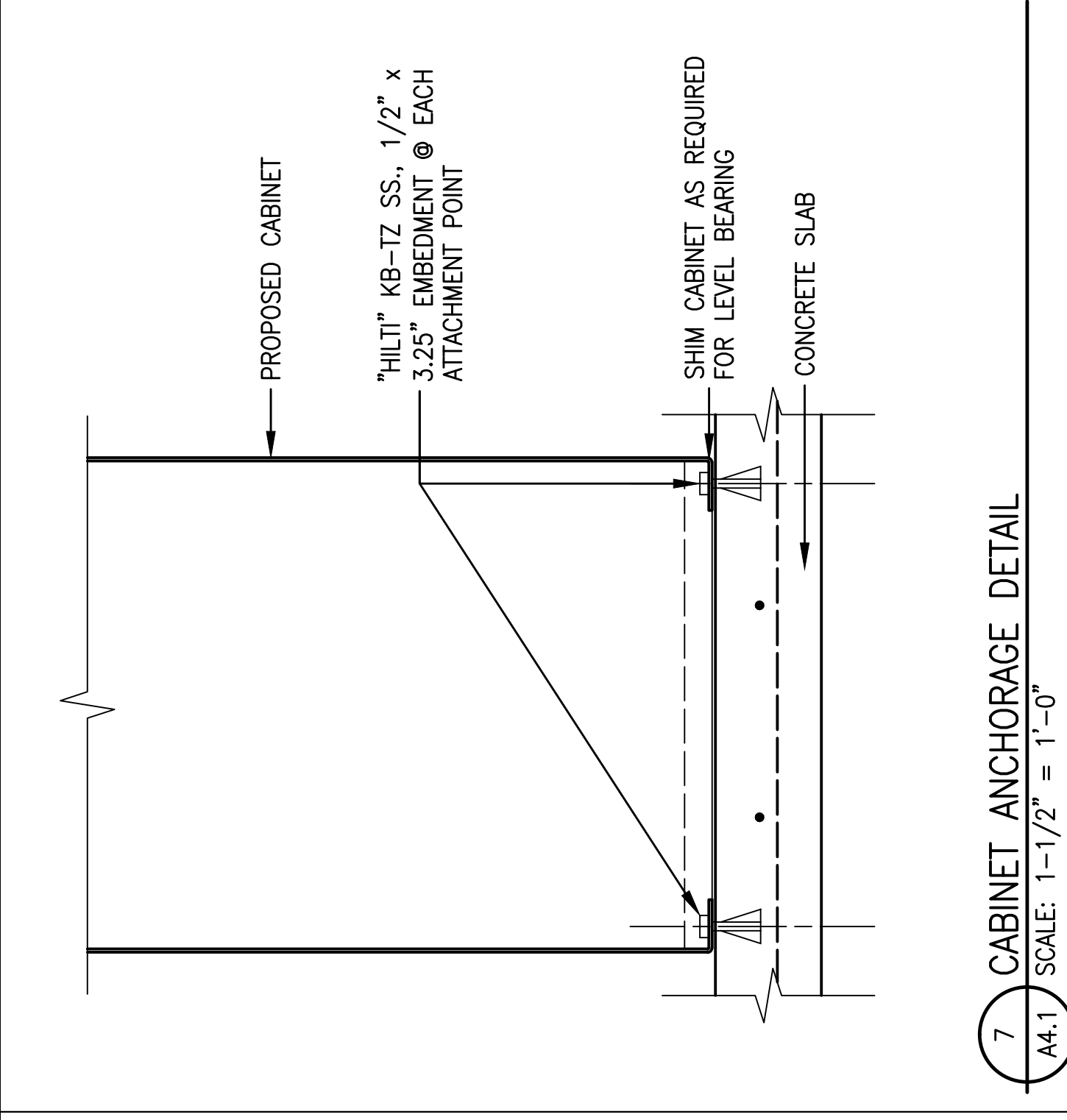
10 WORKLIGHT DETAIL  
A4.1 SCALE: 1-1/2" = 1'-0"



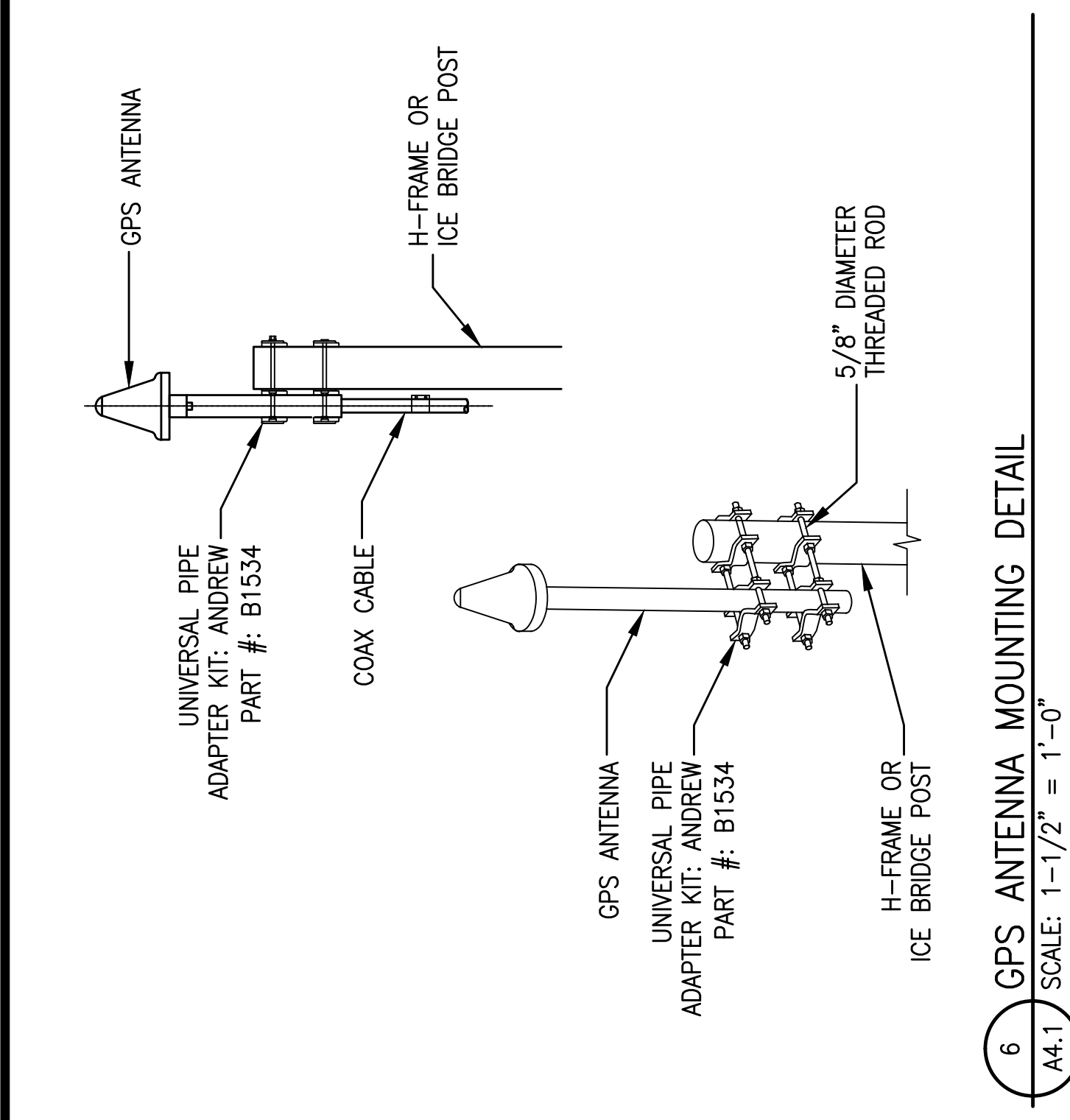
9 SITE GRADING DETAIL  
A4.1 SCALE: 1/2" = 1'-0"



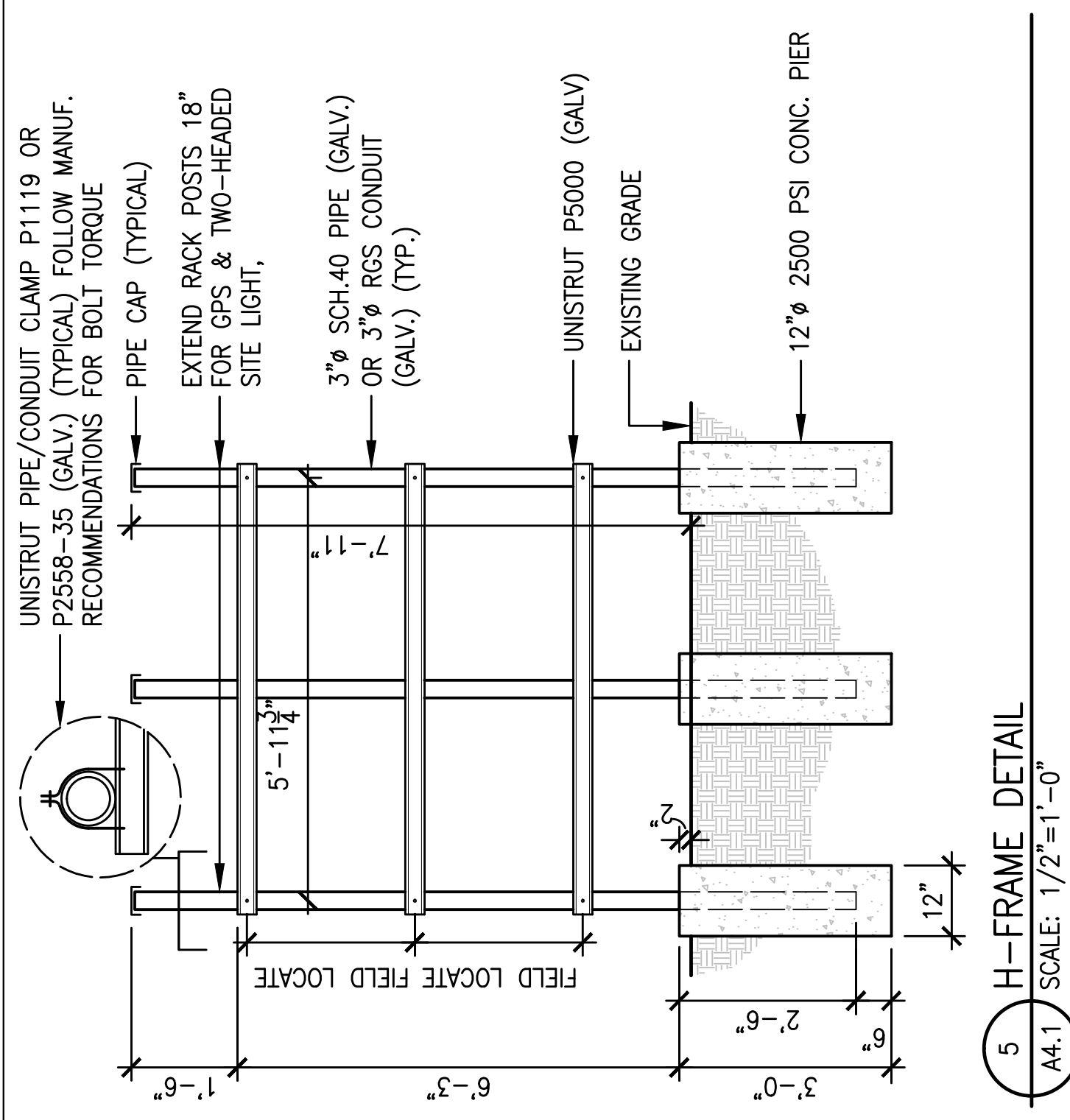
8 SITE ID & CONTACT SIGNAGE  
A4.1 SCALE: NONE



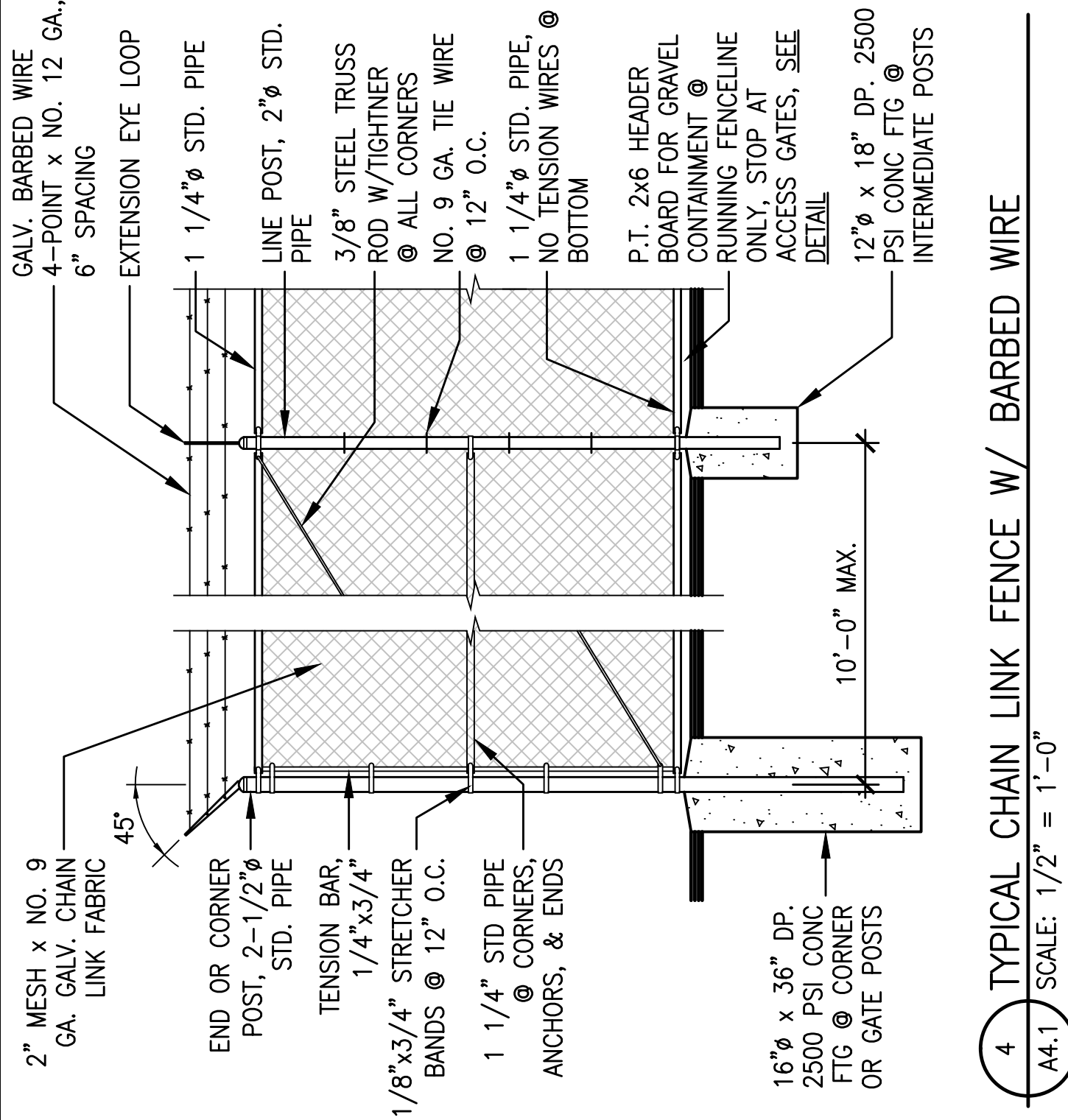
7 CABINET ANCHORAGE DETAIL  
A4.1 SCALE: 1-1/2" = 1'-0"



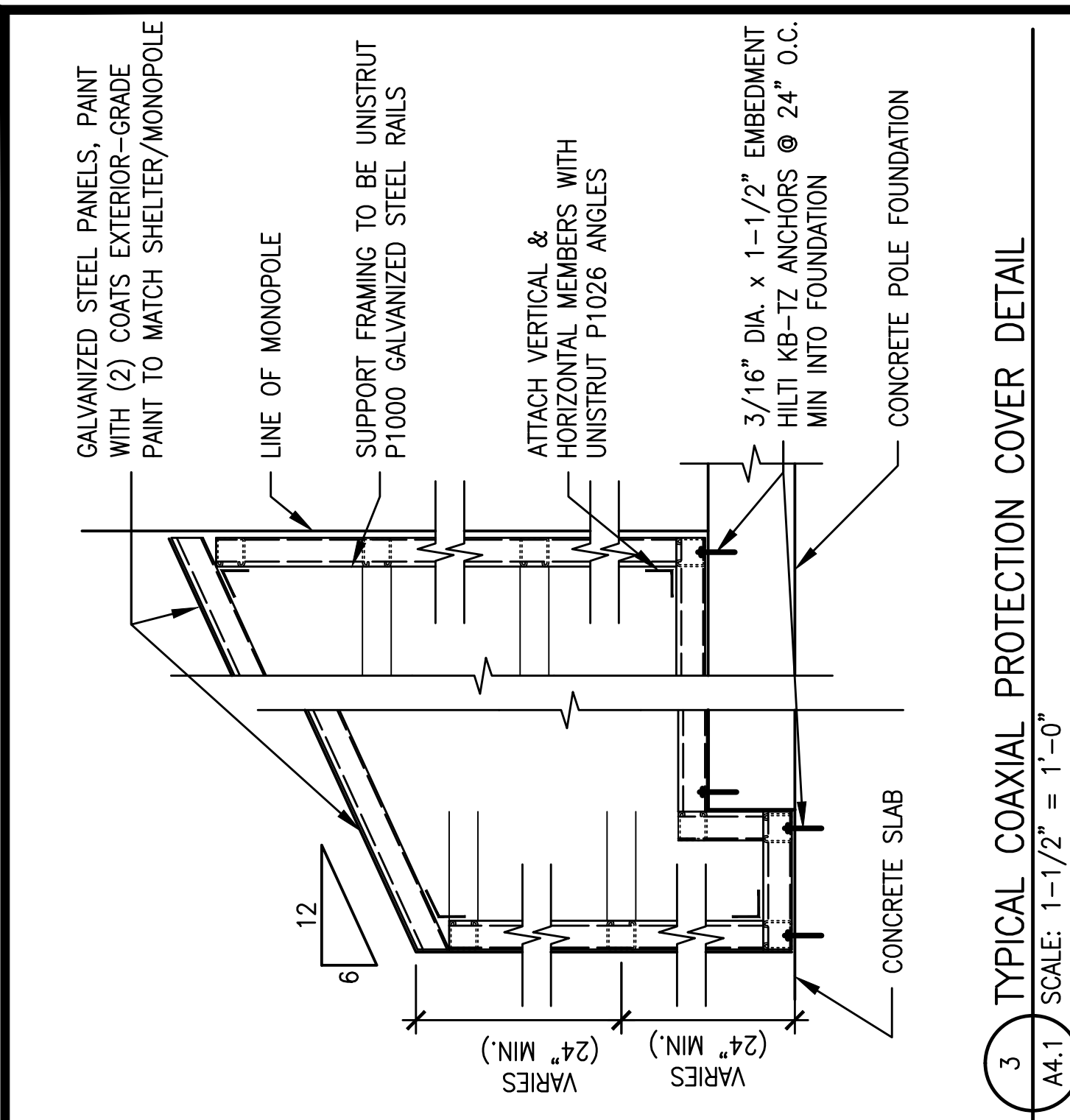
6 GPS ANTENNA MOUNTING DETAIL  
A4.1 SCALE: 1-1/2" = 1'-0"



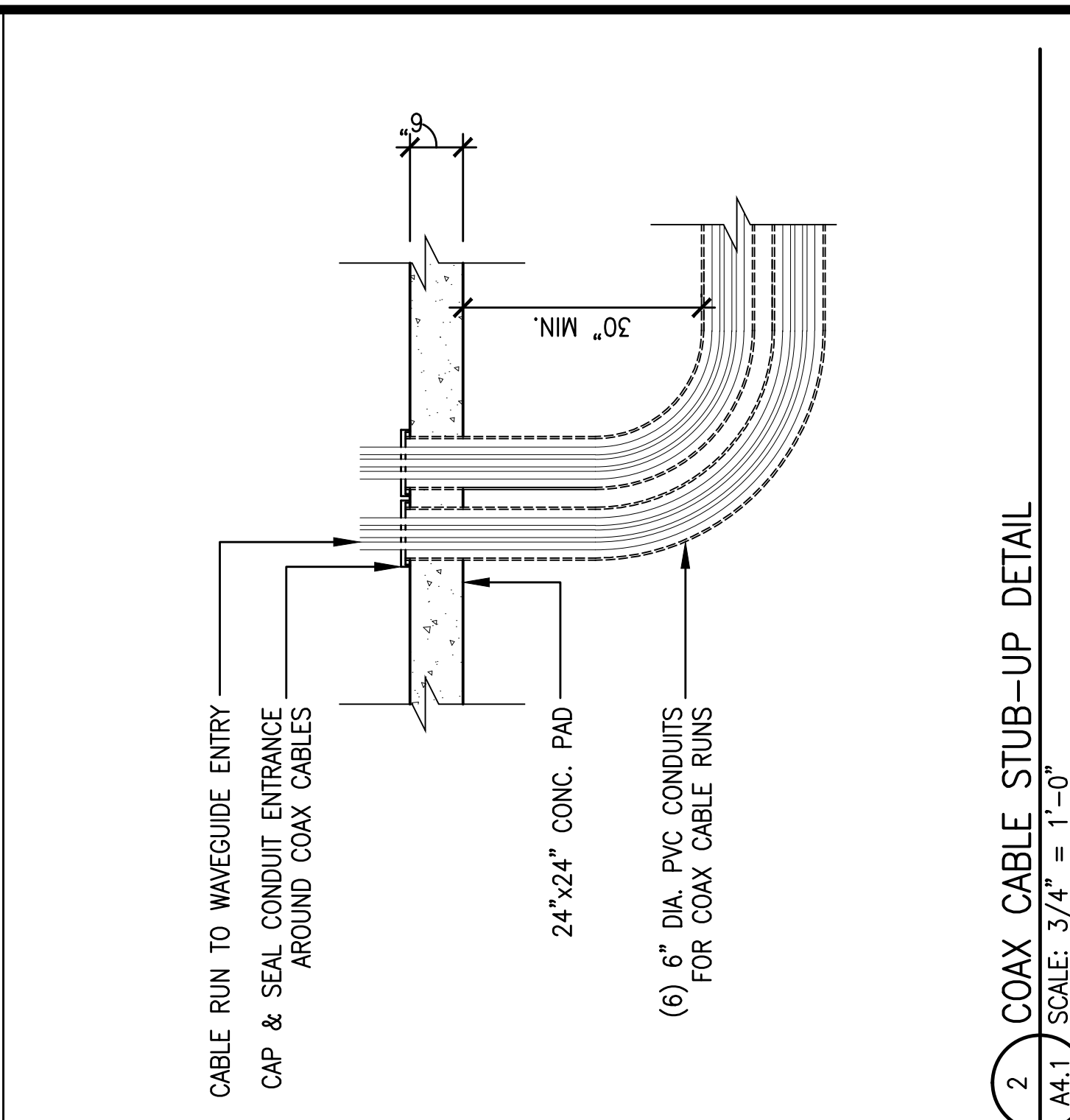
5 H-FRAME DETAIL  
A4.1 SCALE: 1/2" = 1'-0"



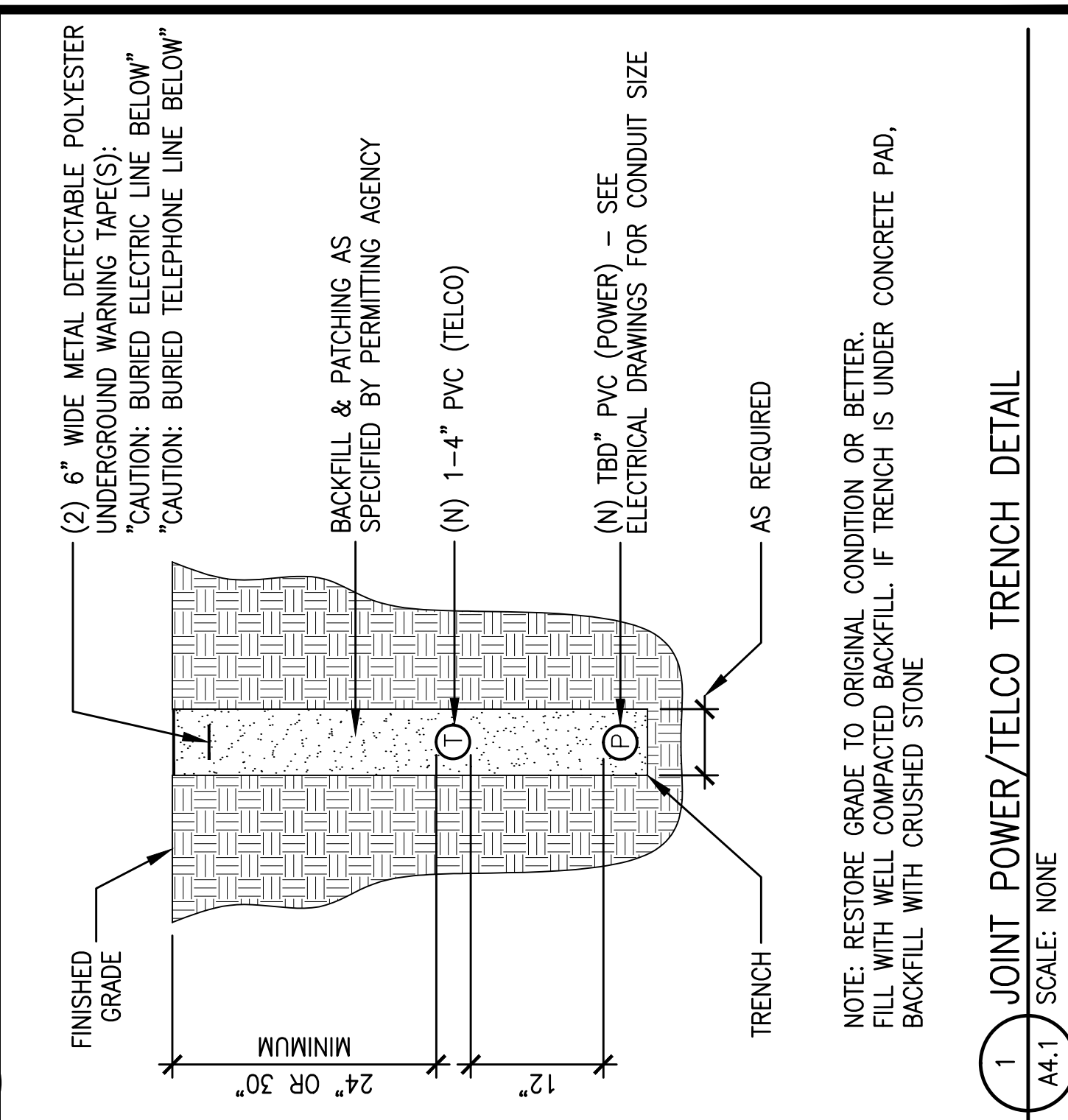
4 TYPICAL CHAIN LINK FENCE W/ BARBED WIRE  
A4.1 SCALE: 1/2" = 1'-0"



3 TYPICAL COAXIAL PROTECTION COVER DETAIL  
A4.1 SCALE: 1-1/2" = 1'-0"

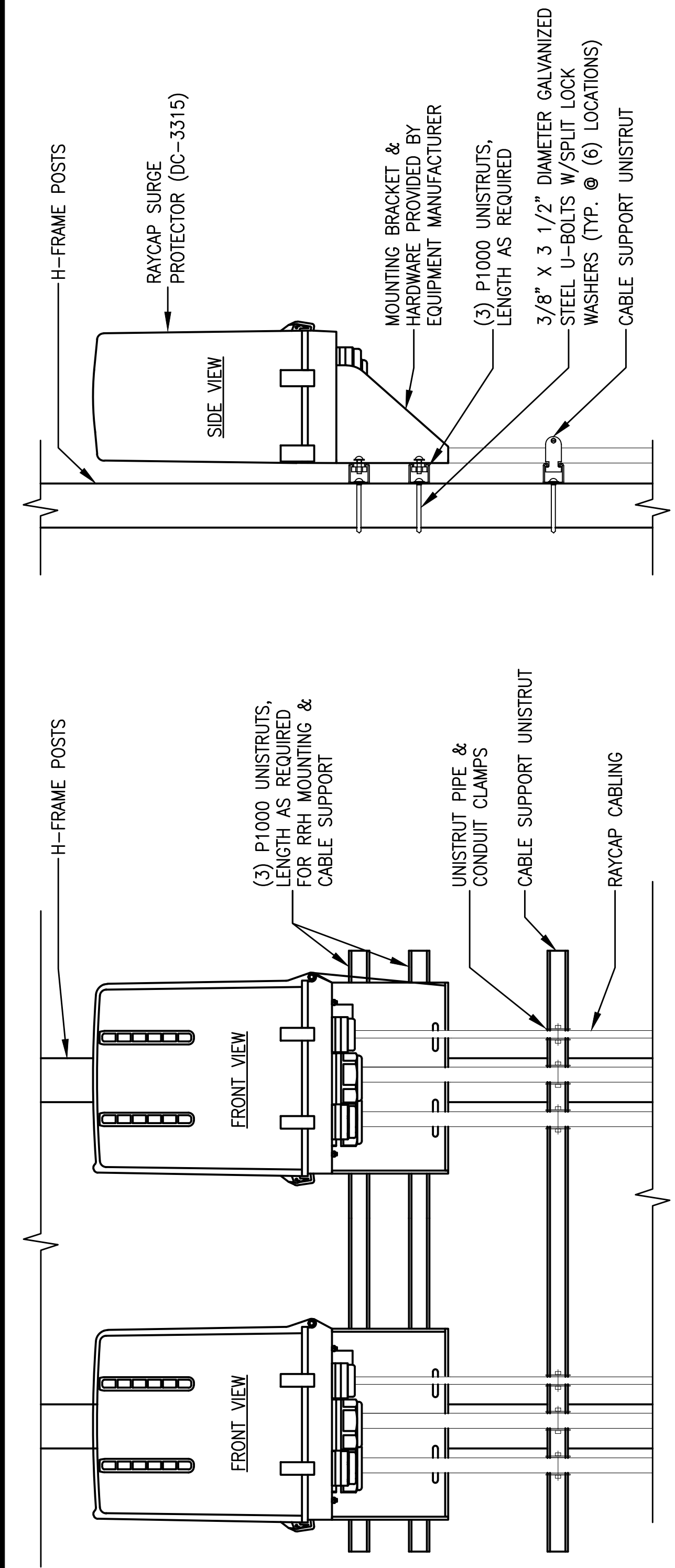


2 COAX CABLE STUB-UP DETAIL  
A4.1 SCALE: 3/4" = 1'-0"

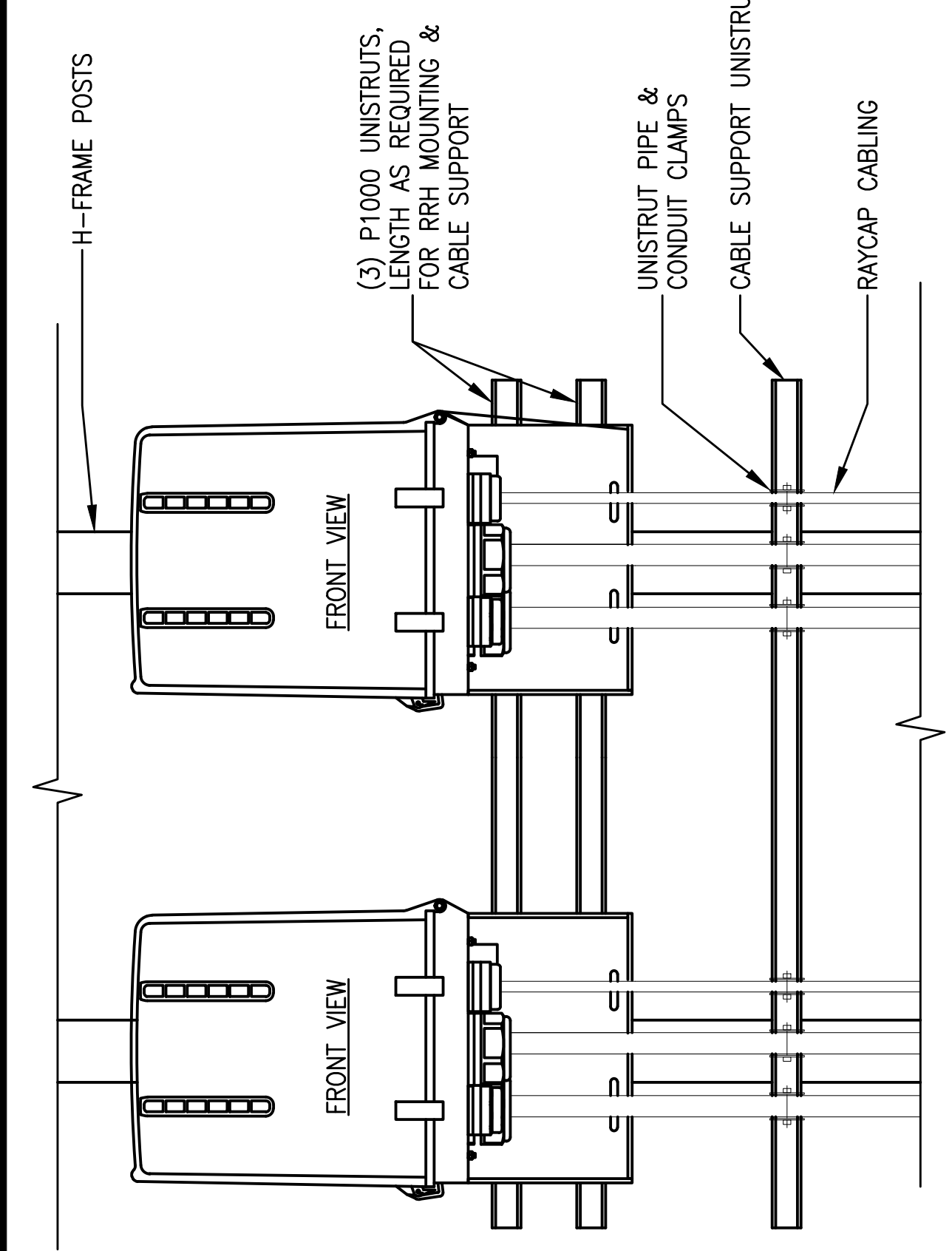


1 JOINT POWER/TELCO TRENCH DETAIL  
A4.1 SCALE: NONE

ITEM	PART NO.	DESCRIPTION	QTY.	UNIT
1	CP224001	CROSSOVER PLATE 2-3/8" DIA. ID 4-1/2" O.D.	2	PCS
2	GUB-4240	1/2" X 2-1/2" X 4" GALV. U-BOLT	2	PCS
3	MT-381-8	5/8" X 8" GALV. THREADED ROD	4	PCS
4	GMT-05	5/8" GALV. FLAT WASHER	12	PCS
5	GMT-05	5/8" GALV. LOCK WASHER	12	PCS
6	GMT-05	5/8" GALV. FLAT WASHER	12	PCS
7	GUB-5456	5/8" X 4-5/8" X 6-1/2" GALV. U-BOLT	2	PCS



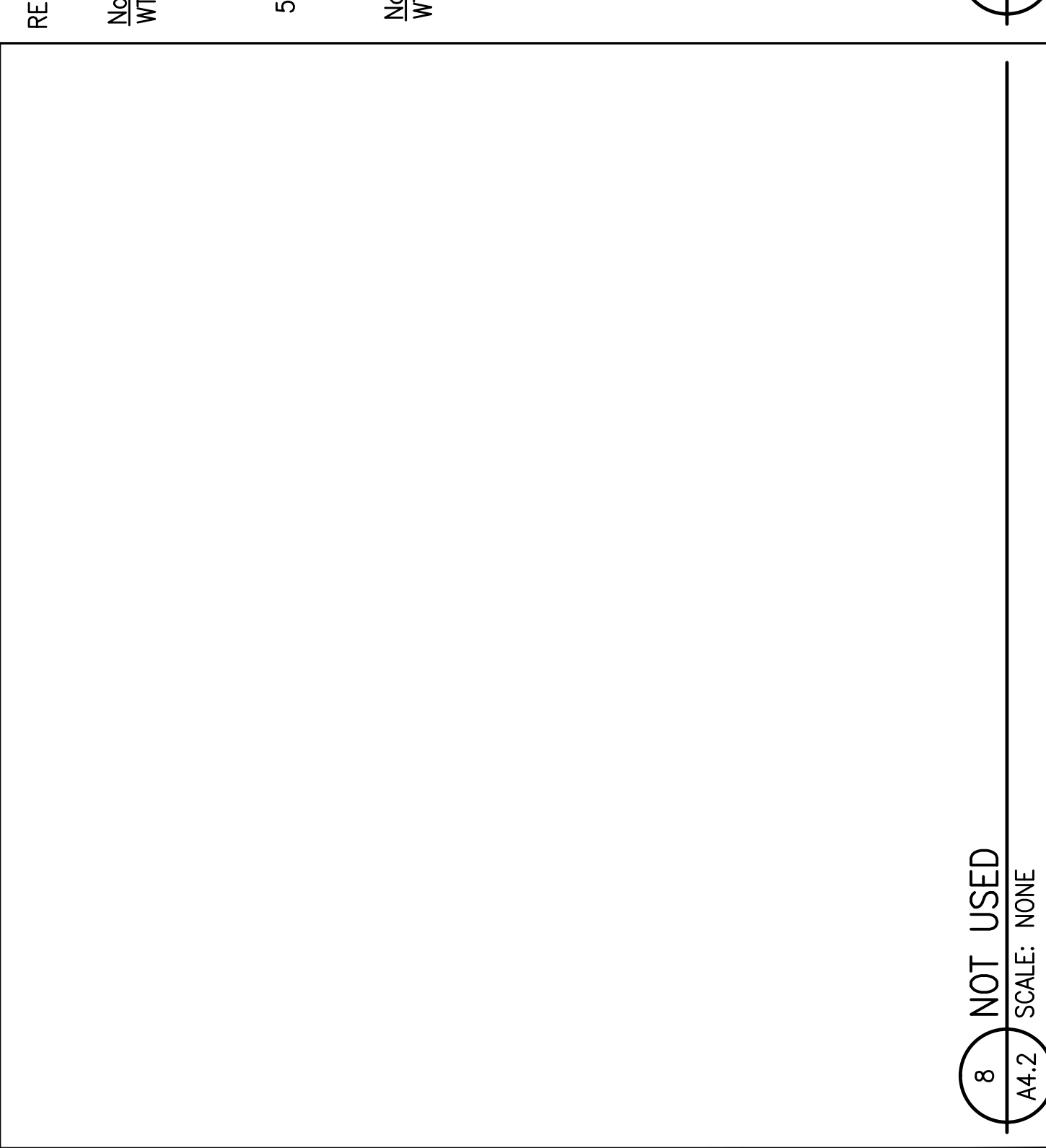
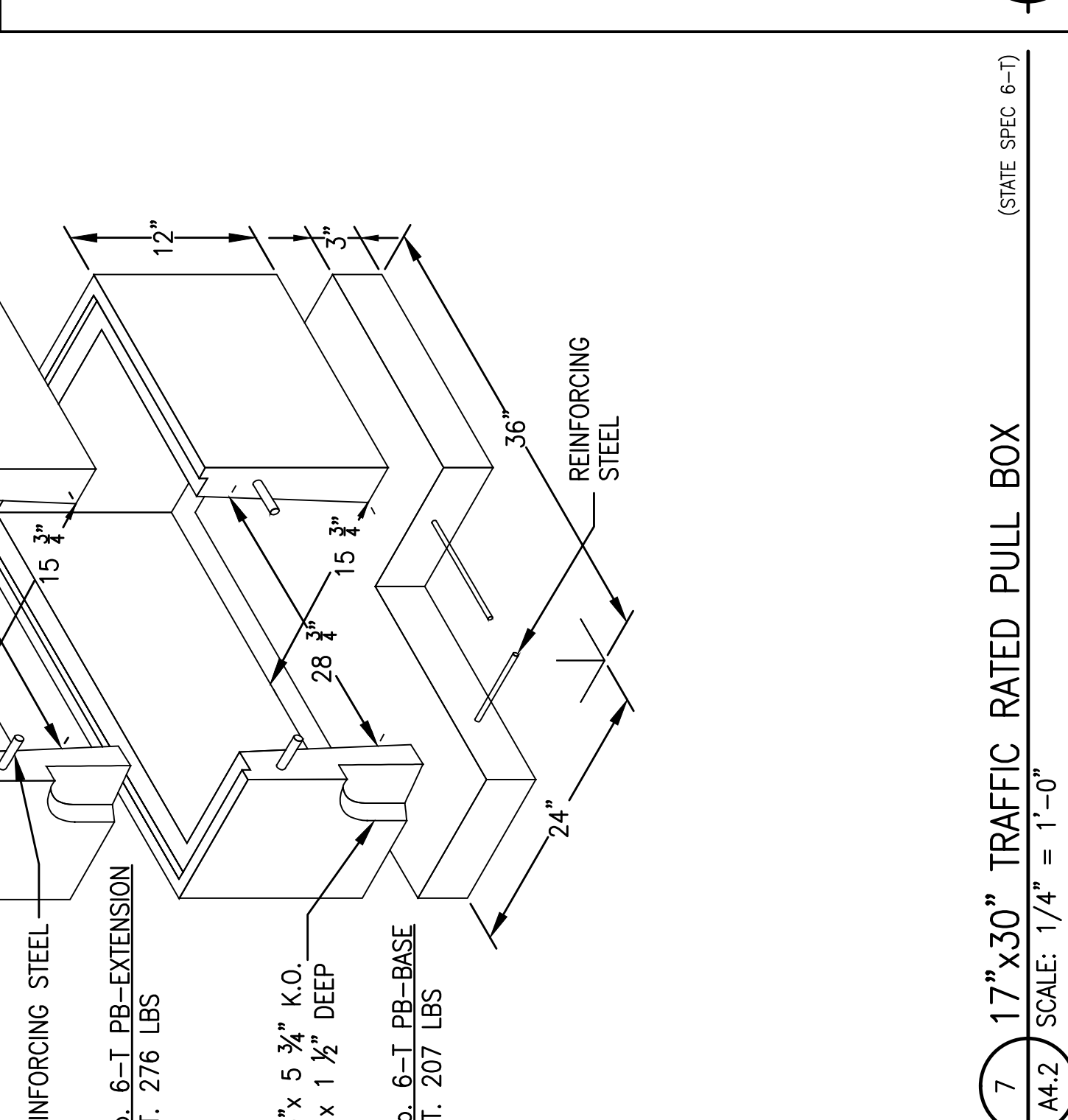
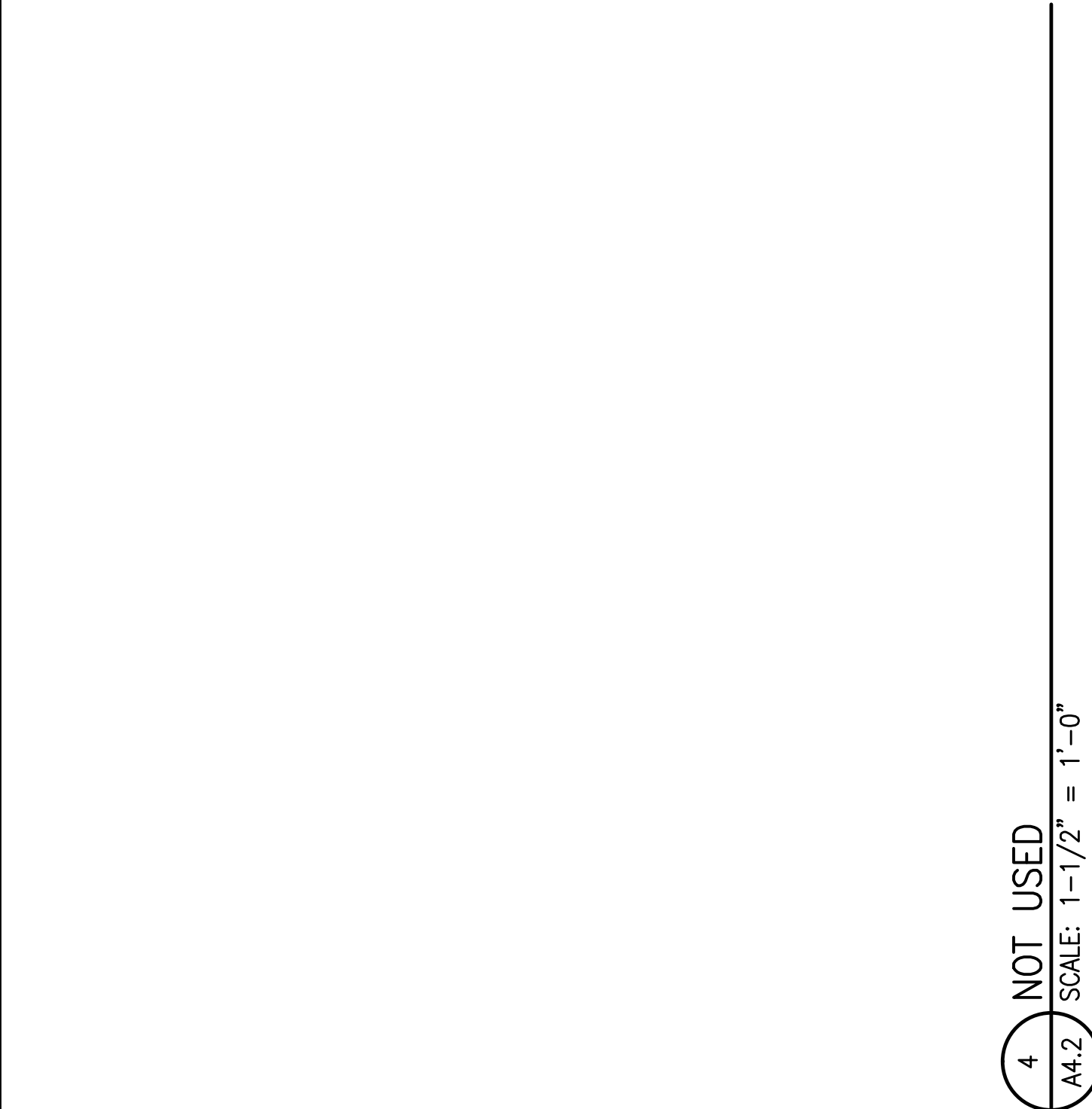
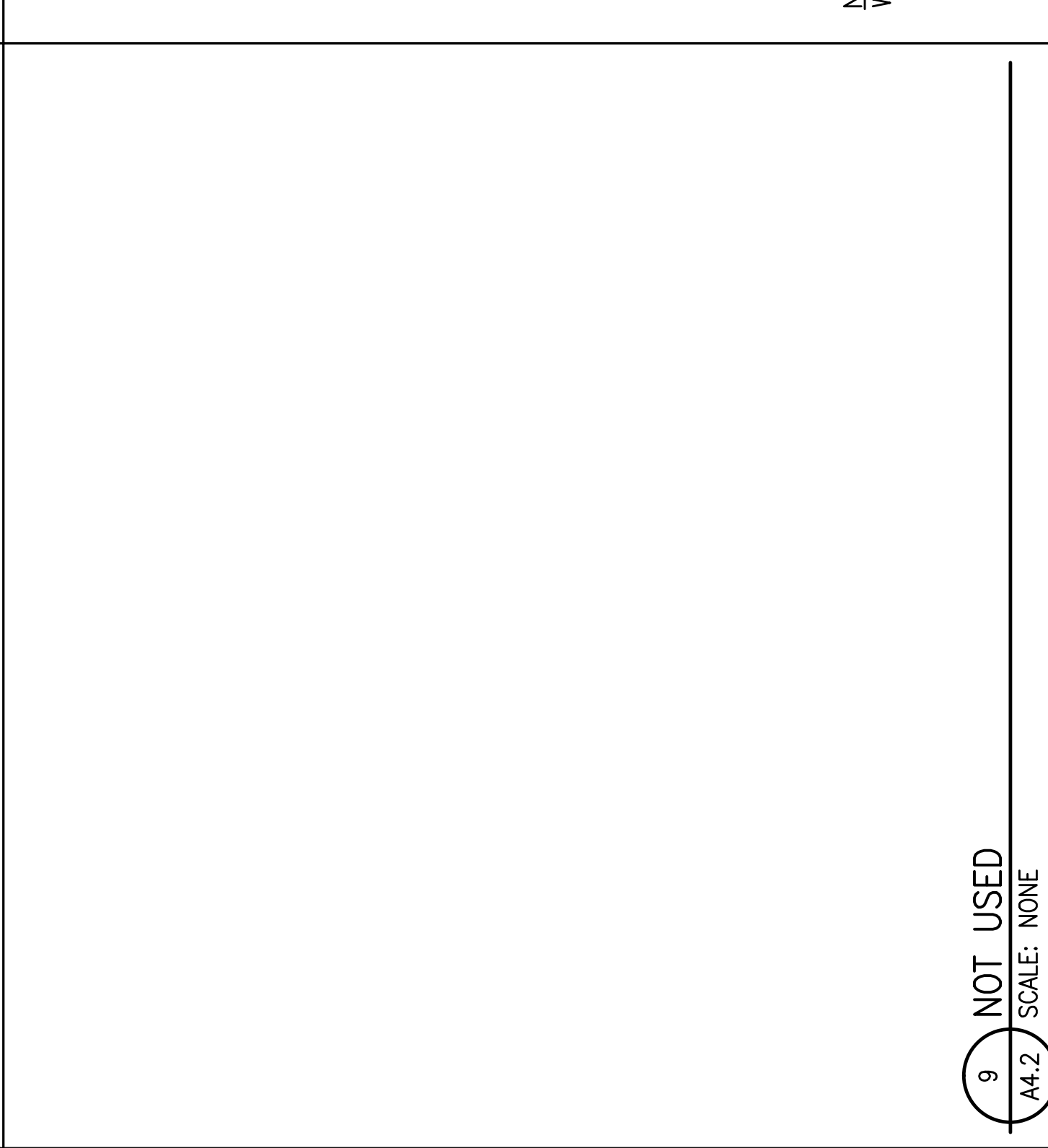
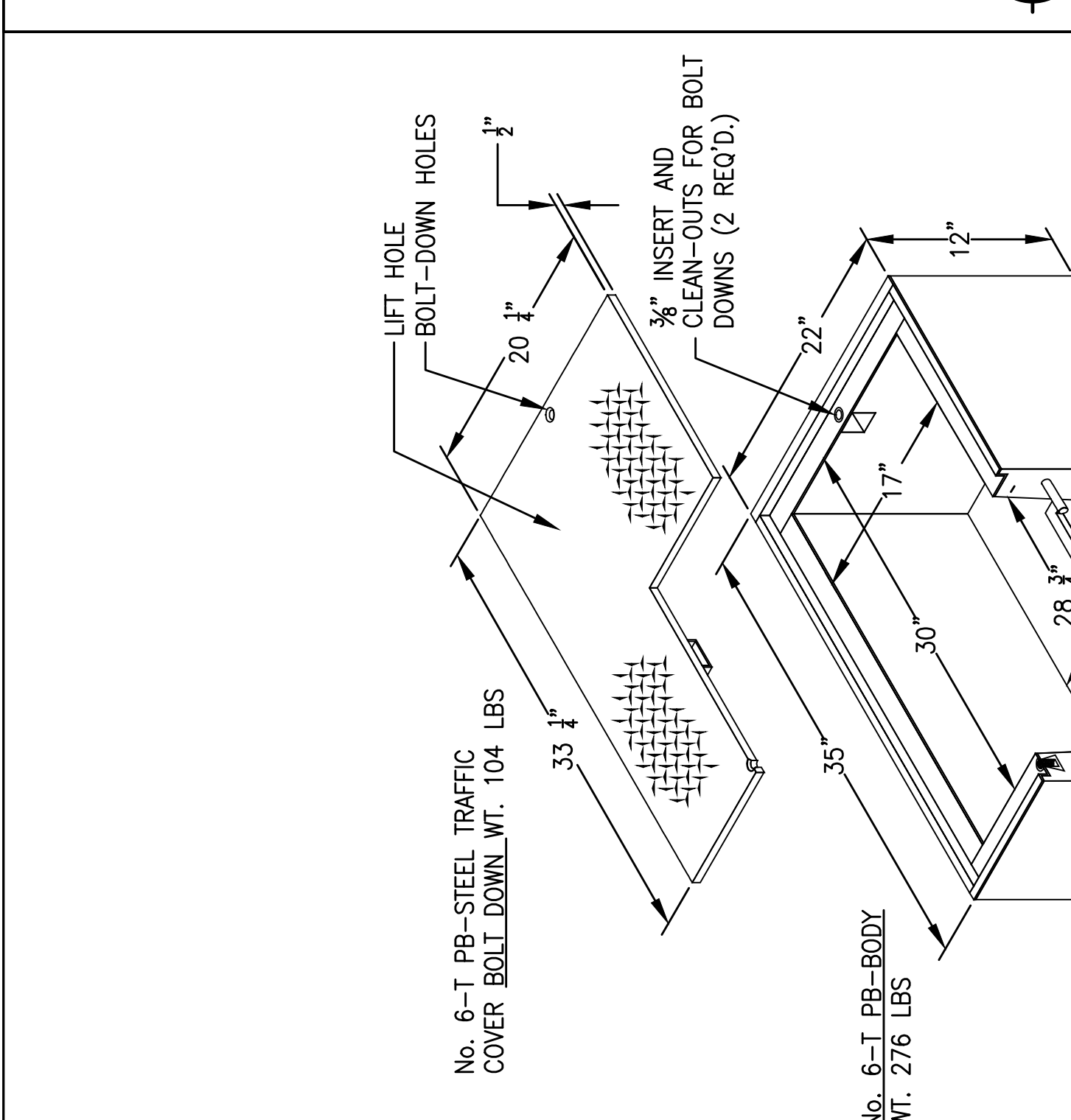
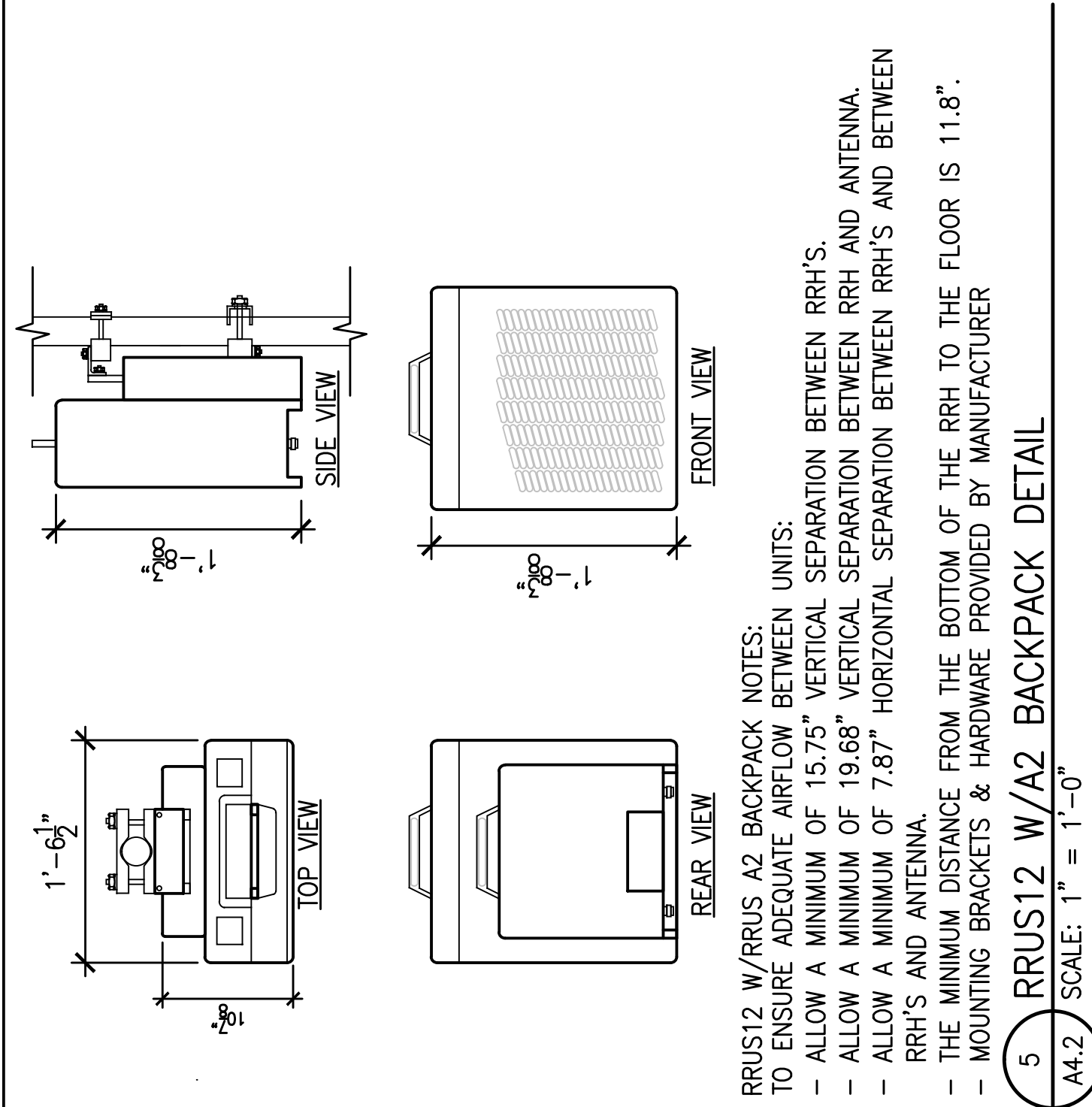
10 NOT USED  
A4.2 SCALE: NONE



6 RAYCAP SURGE PROTECTOR @ EQUIP. DC-3315  
A4.2 SCALE: 1-1/2" = 1'-0"



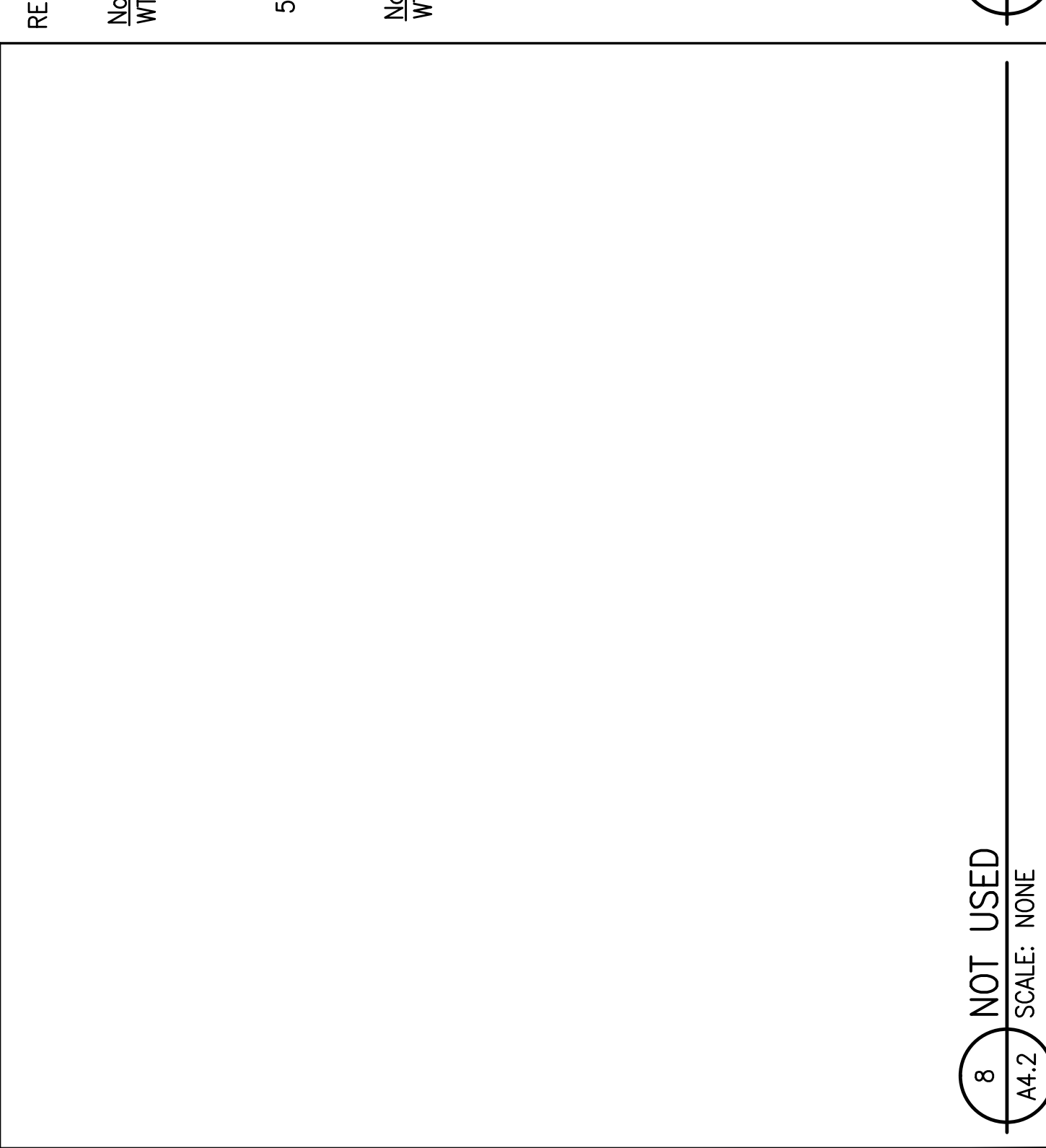
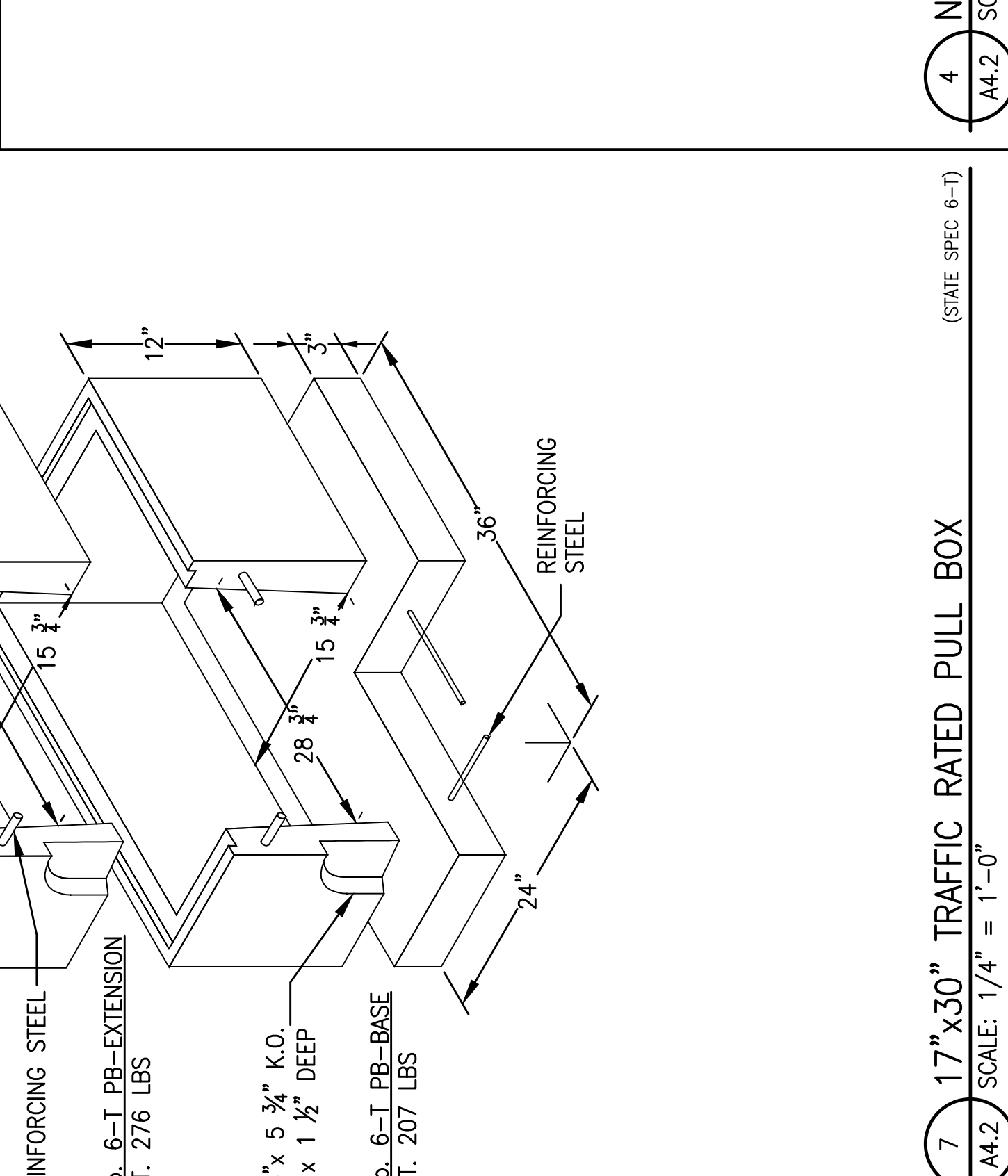
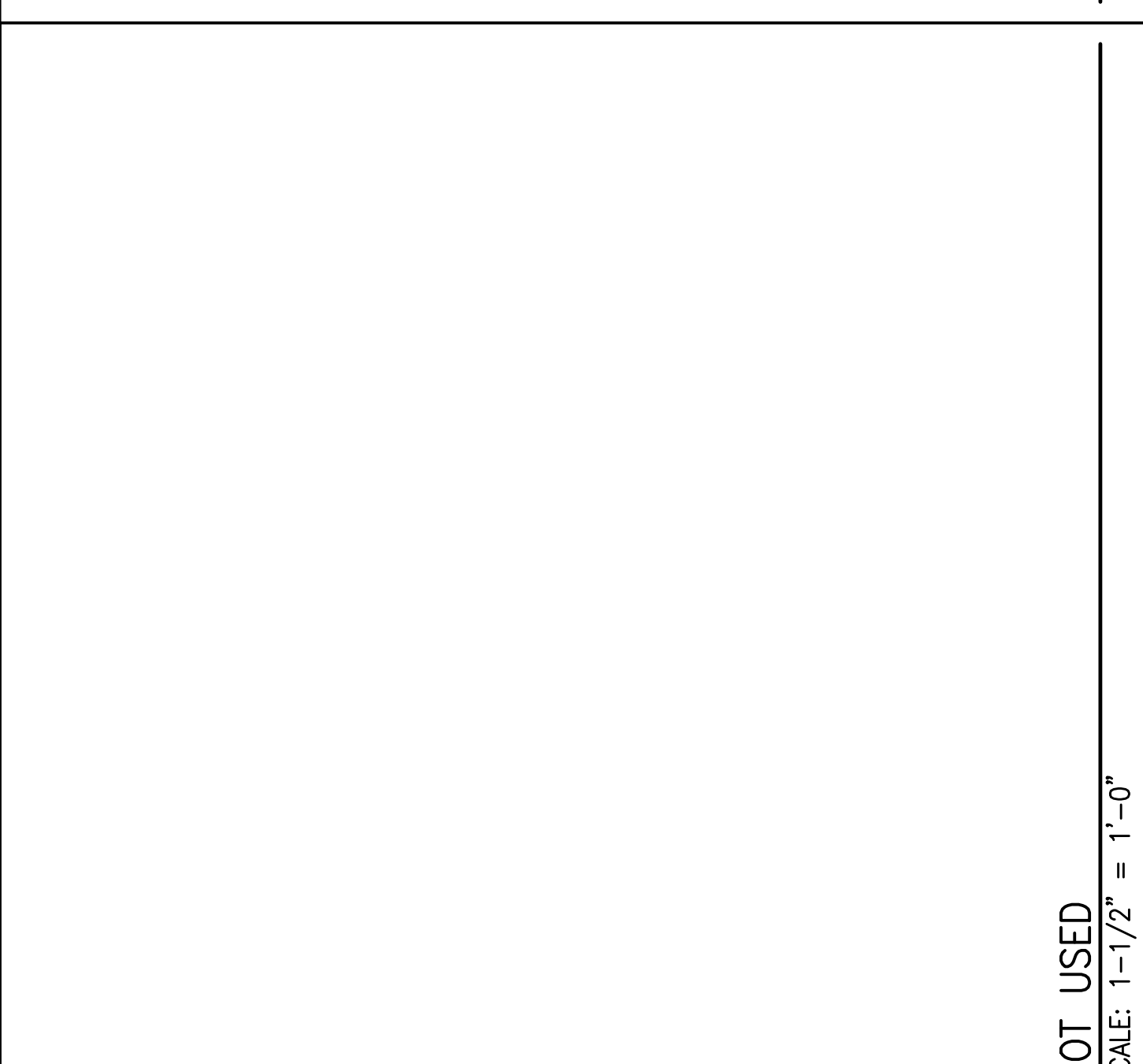
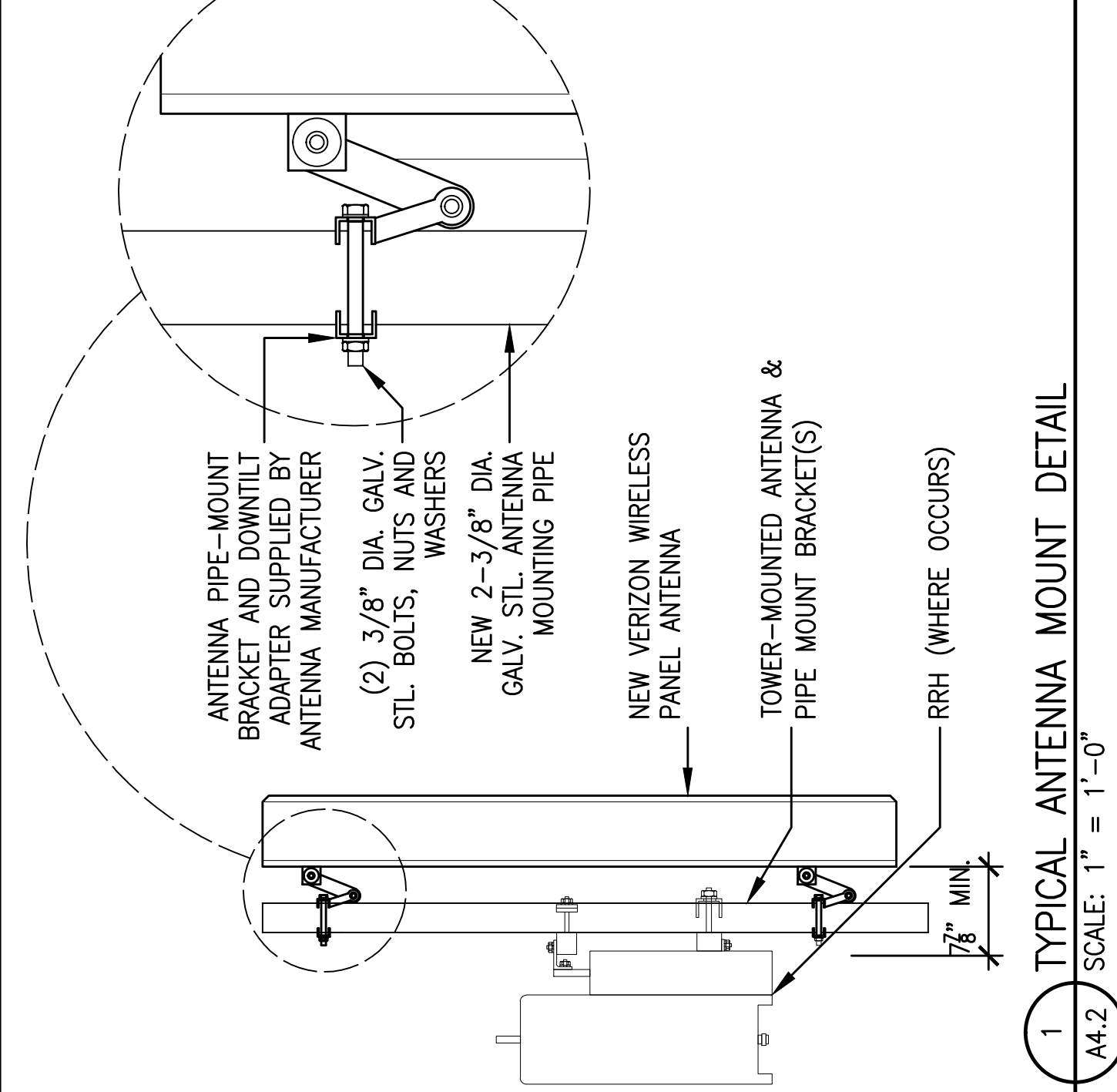
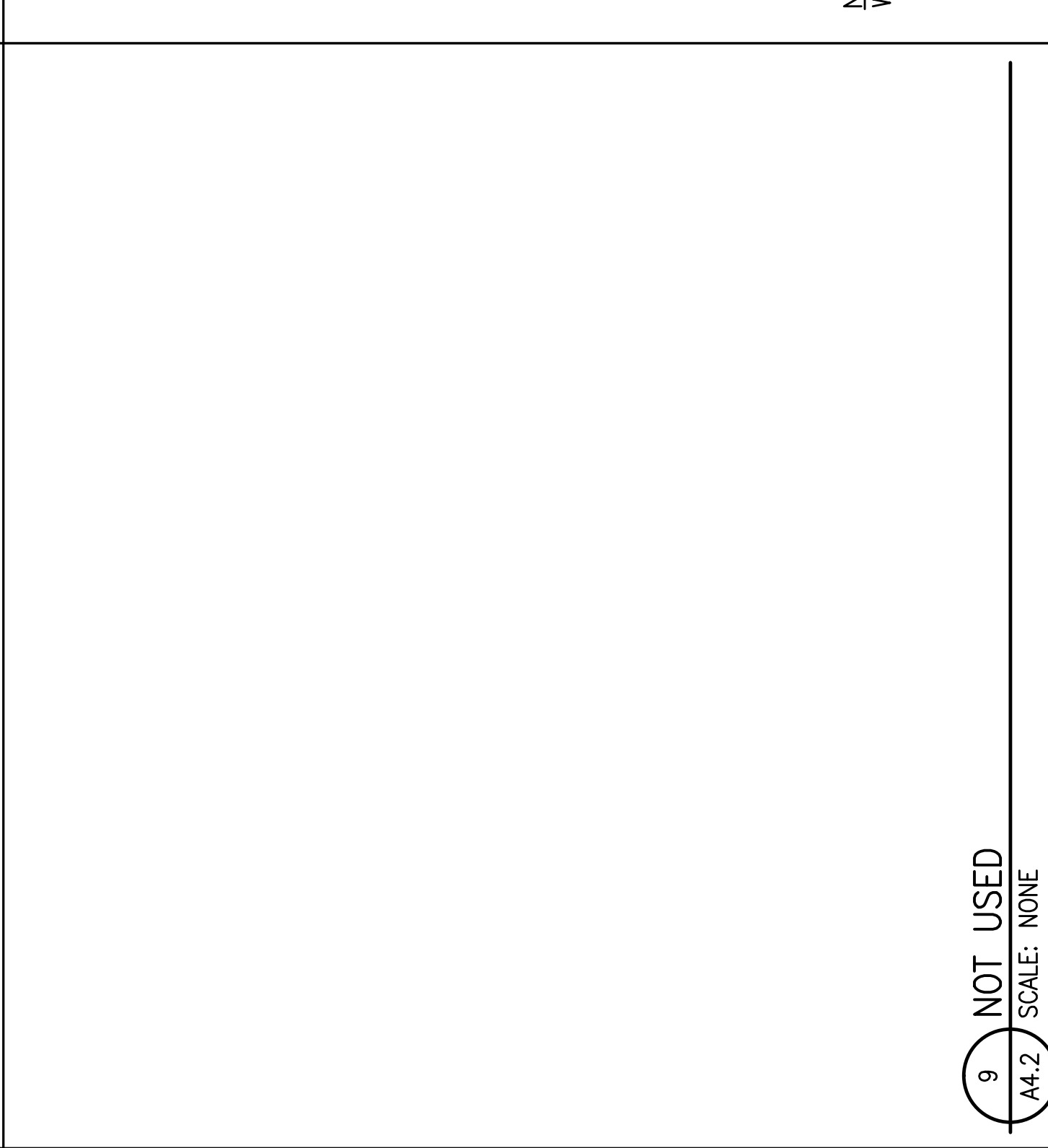
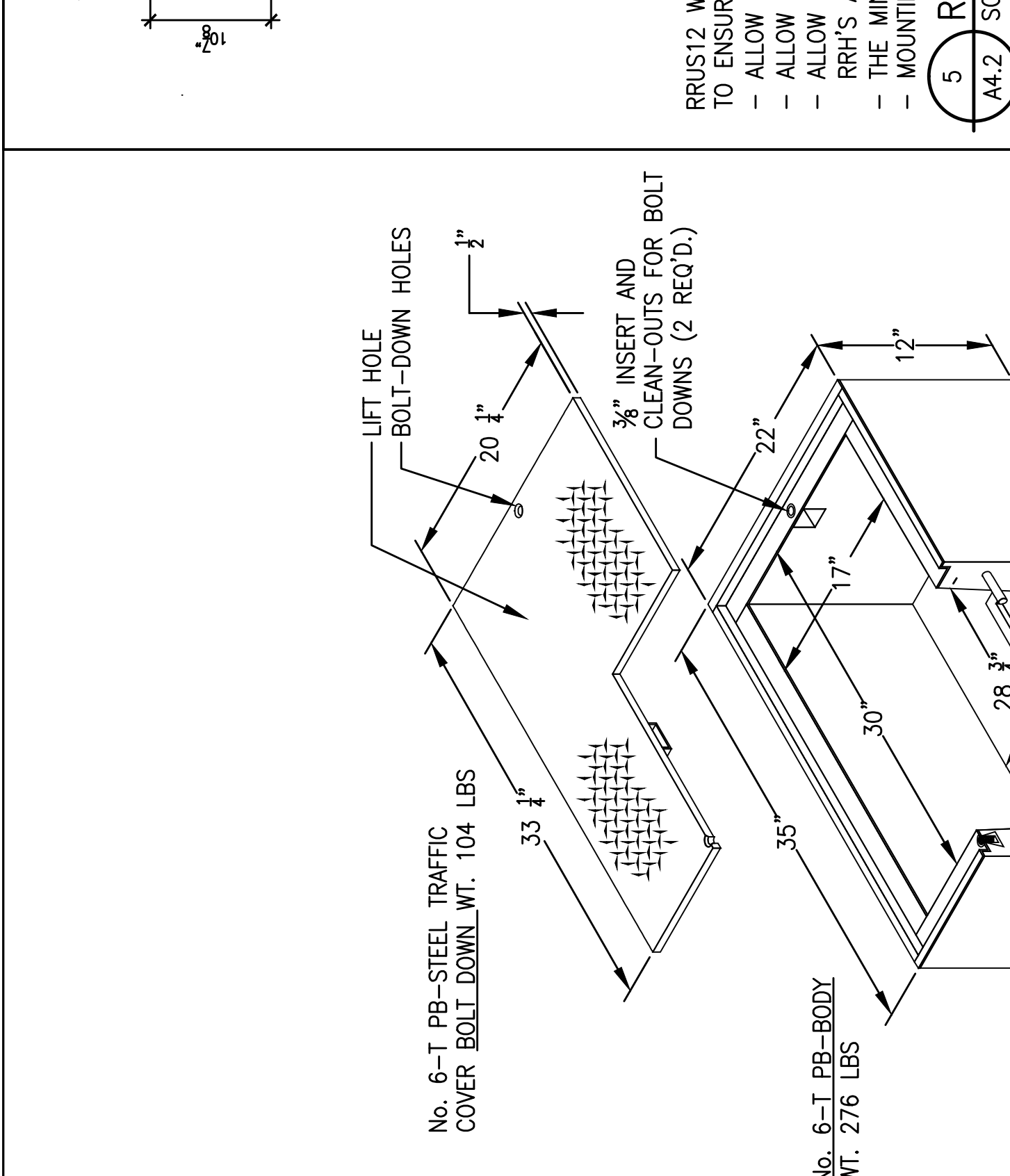
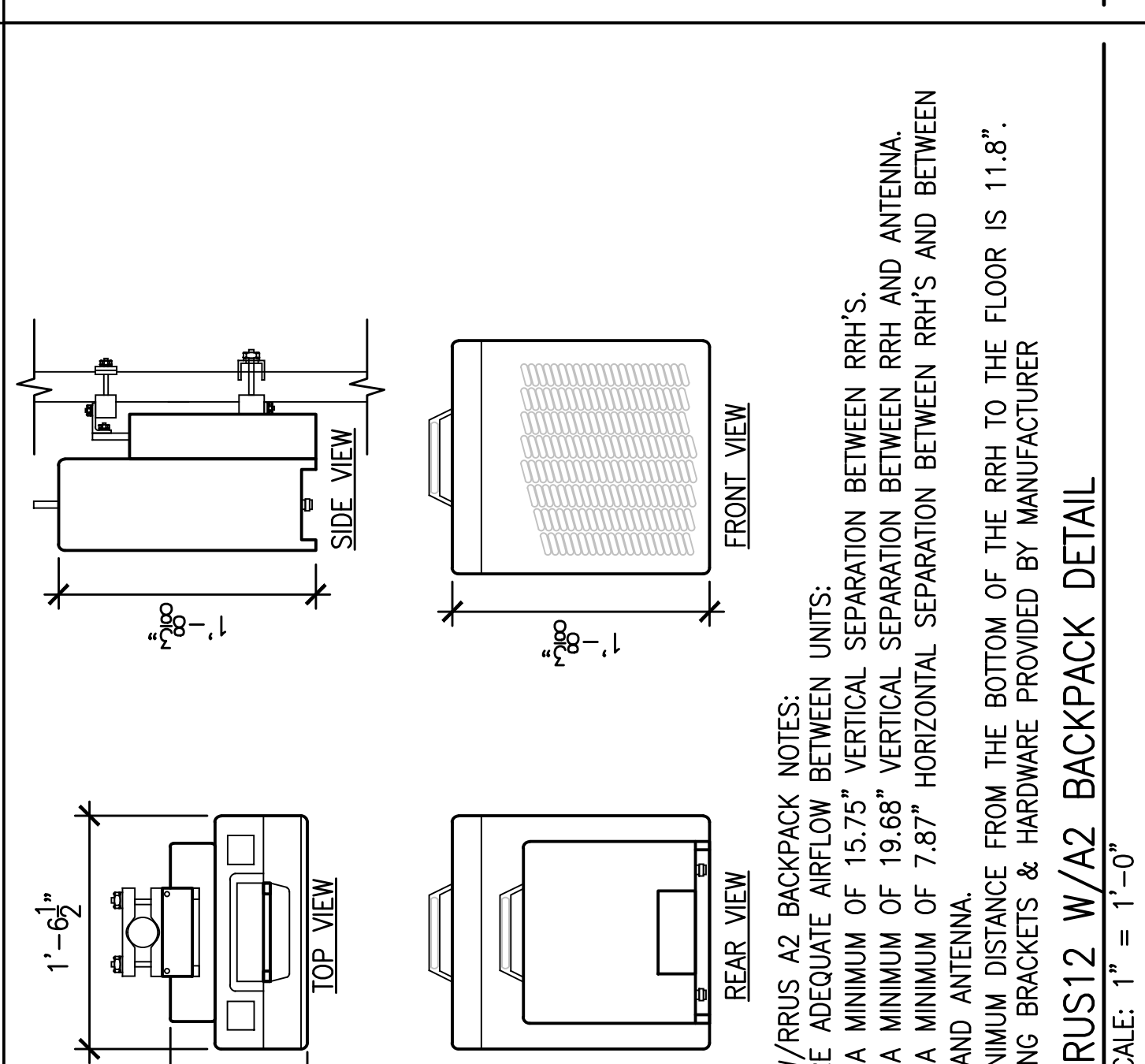
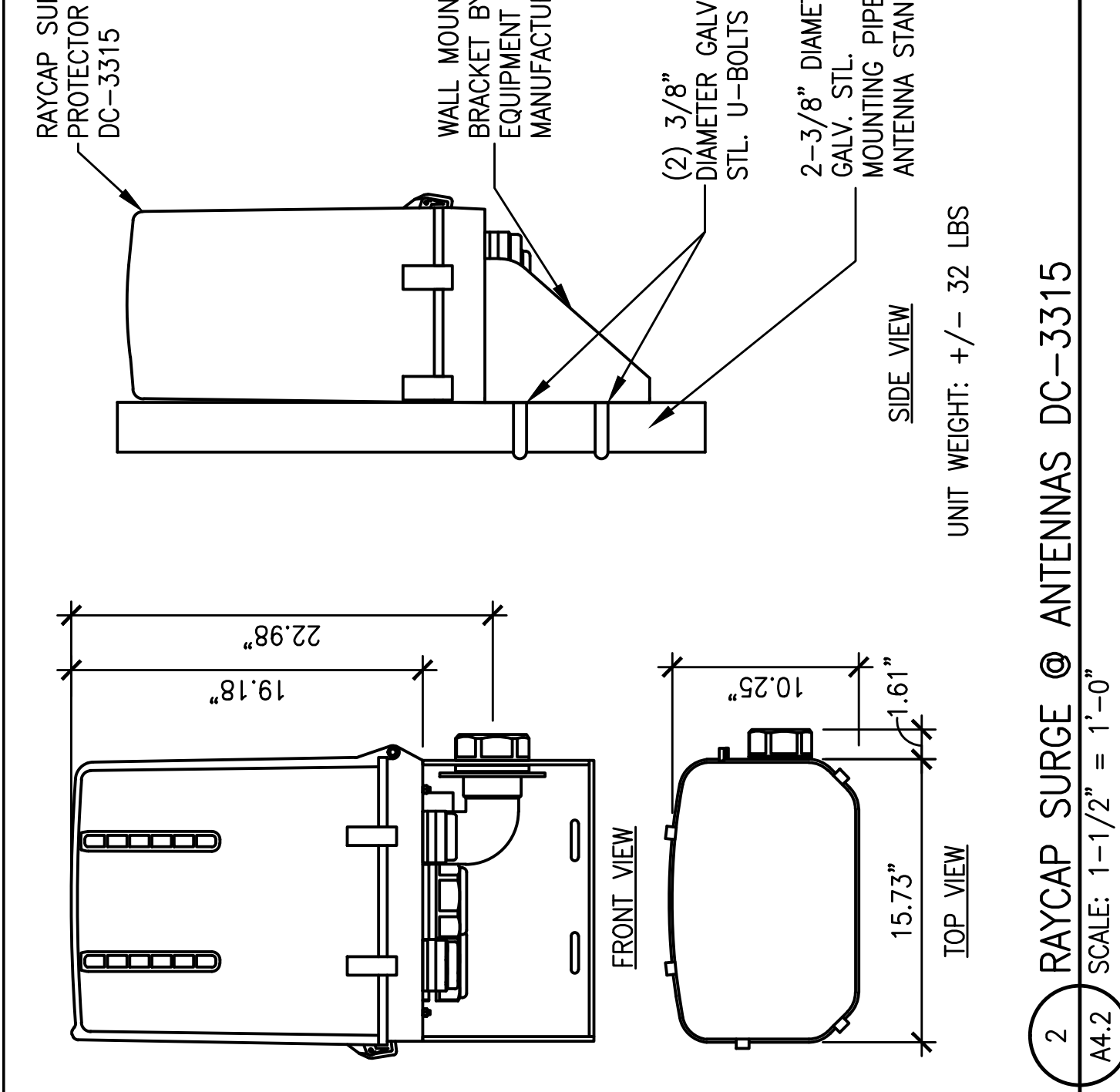
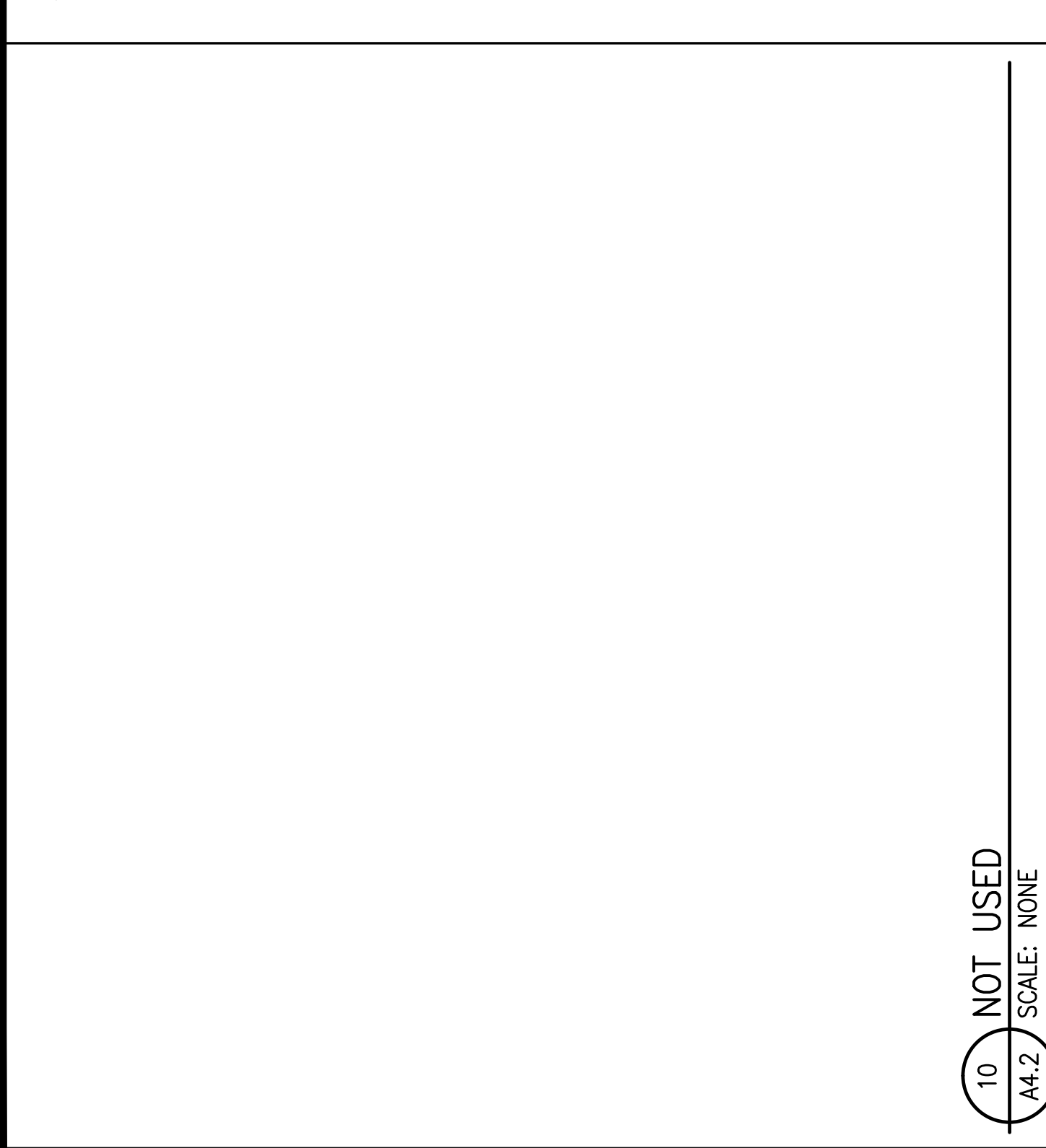
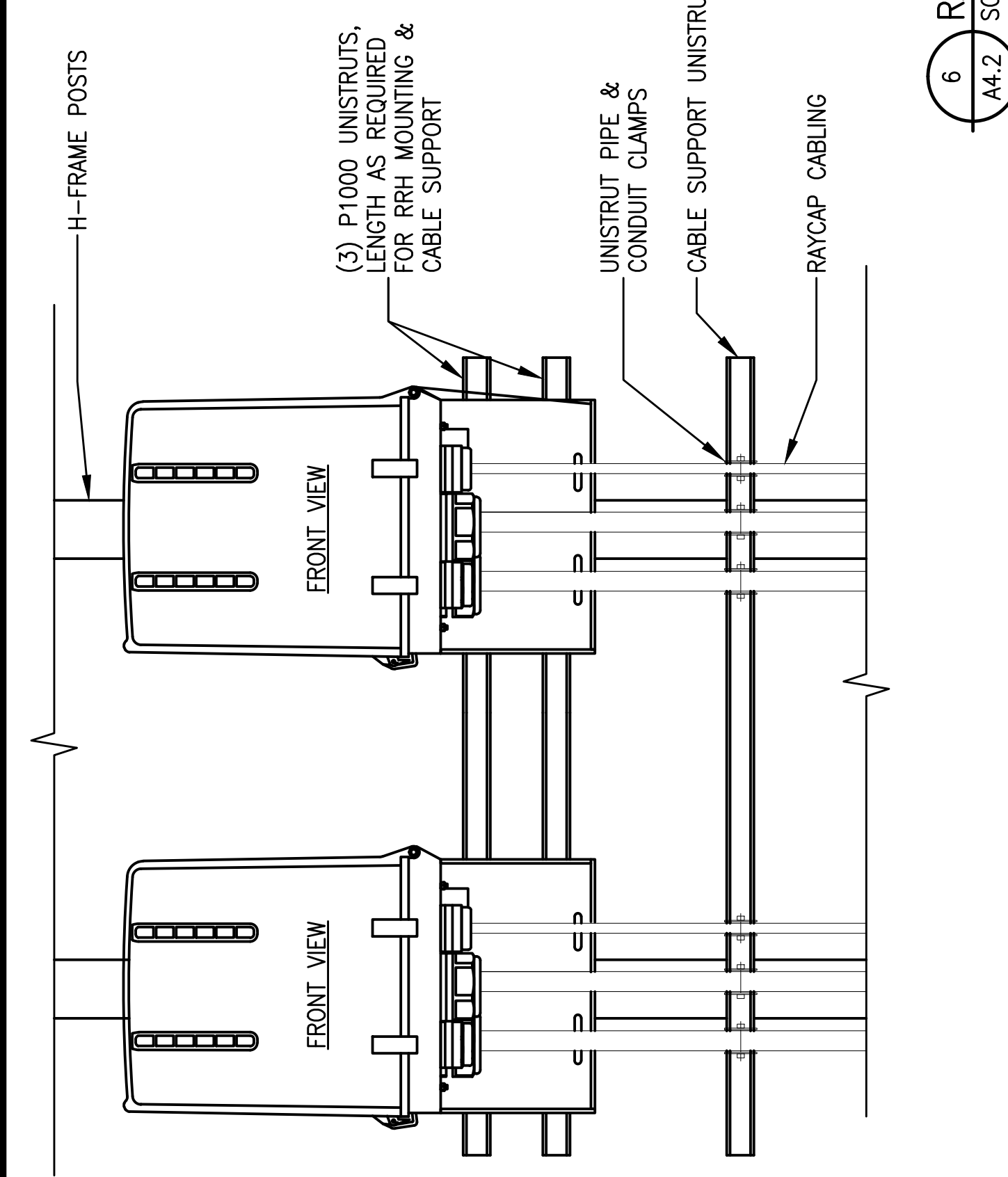
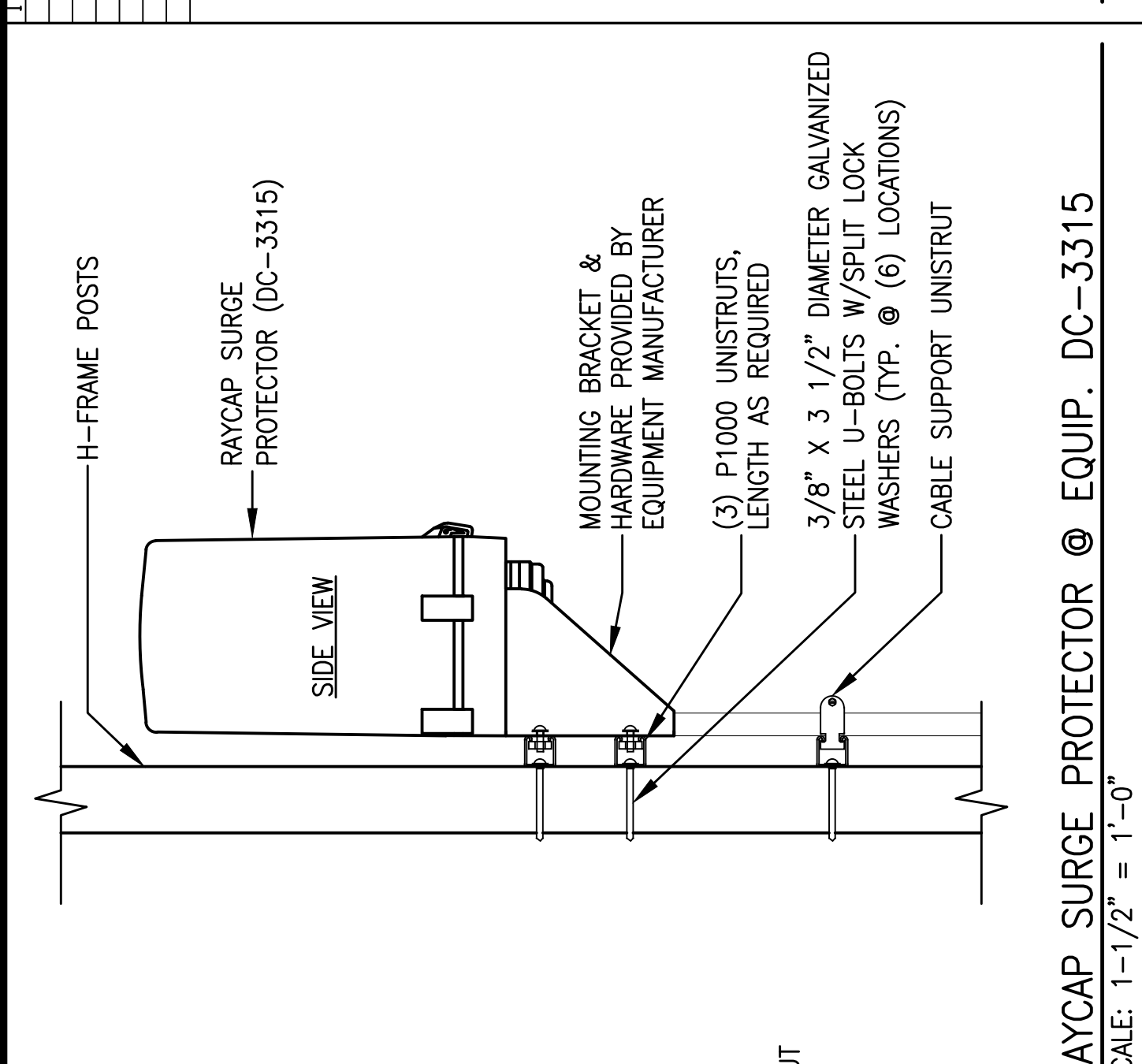
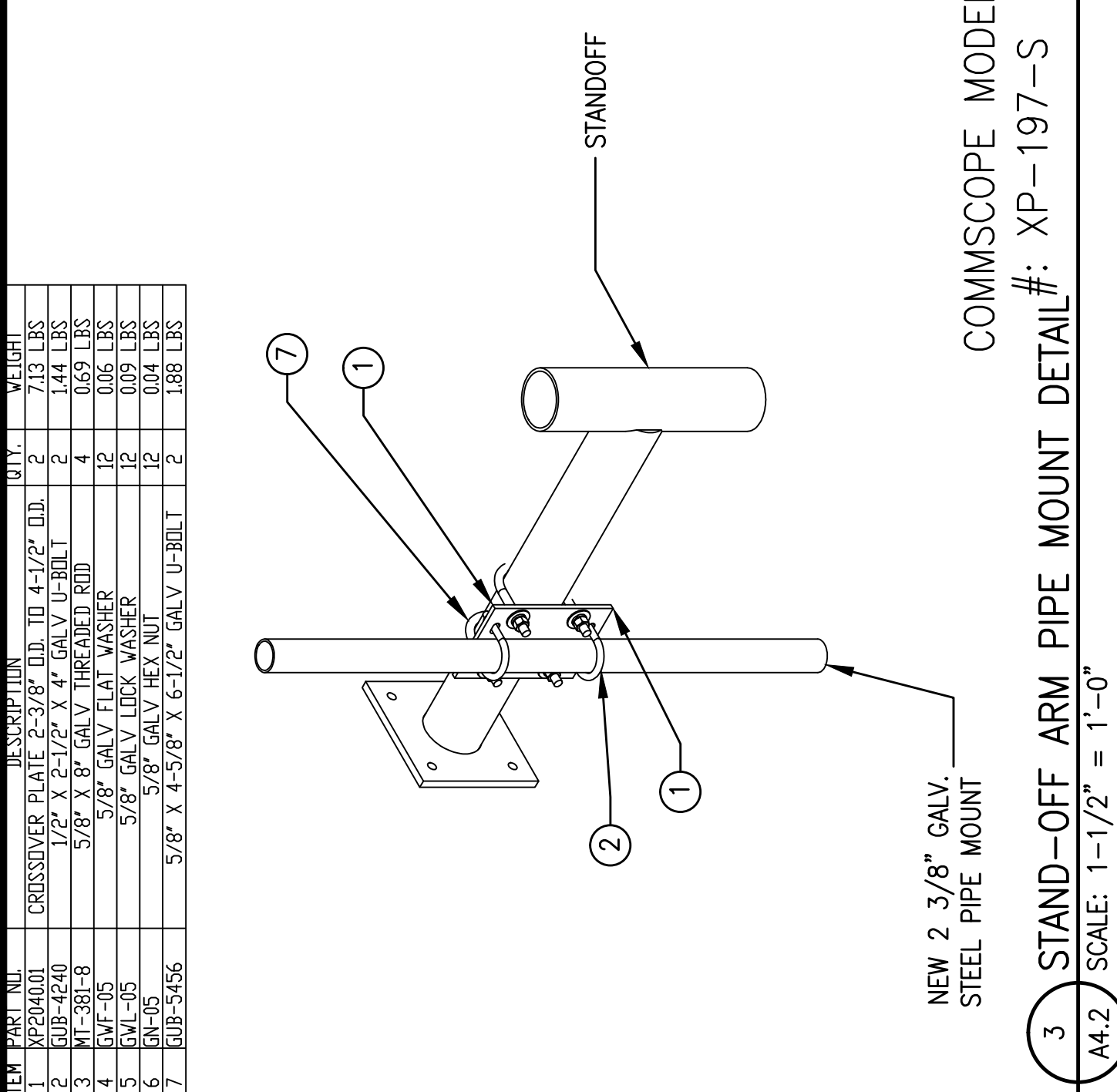
9 NOT USED  
A4.2 SCALE: NONE



10 NOT USED  
A4.2 SCALE: NONE

9 NOT USED  
A4.2 SCALE: NONE

7 17" x 30" TRAFFIC RATED PULL BOX  
A4.2 SCALE: 1/4" = 1'-0" (STATE SPEC 6-T)



Manuel S. Tshias, Architect  
1520 River Park Drive, Sacramento, CA 95815  
916-505-3811  
COMPLETE  
Wireless Consulting, Inc.

Verizon  
AXE HANDLE CANYON  
14855 PYRAMID WAY  
RENO, NV 89510  
CONSTRUCTION DETAILS  
SHEET TITLE:

REGISTERED  
PROFESSIONAL ENGINEER  
STATE OF NEVADA  
No. 7285  
EXPIRES 12/31/17  
MANUEL S. TSHIAS

Revisions:  
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Drawn By: MWS  
Checked By: TST  
Scale: AS NOTED  
Date: 12/05/17

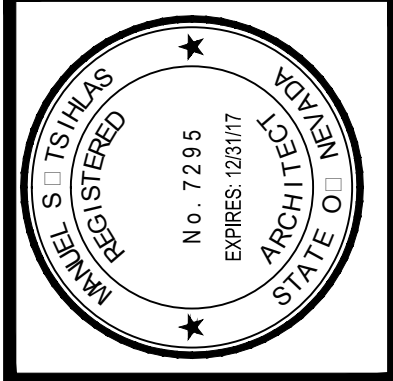
Job No. 162.1654  
**A4.2**

VERIZON WIRELESS COAX COLOR CODE (REV 5)

MINE LINE & JUMPERS BELOW:		MAIN/JUMPER ALPHA LITE		MAIN/JUMPER ALPHA PCS		MAIN/JUMPER ALPHA AWS	
ALPHA	LINE 1	YR	PPYR	PYR	PYR	PYRP	PYRP
BETA	LINE 2	YG	PPYG	PYG	PYG	PYGP	PYGP
MAIN/JUMPER BETA 850		MAIN/JUMPER BETA LITE		MAIN/JUMPER BETA PCS		MAIN/JUMPER BETA AWS	
LINE 1	BR	PPBR	PBR	PBR	PBR	PBRP	PBRP
LINE 2	BG	PPBG	PBG	PBG	PBG	PBGP	PBGP
MAIN/JUMPER GAMMA 850		MAIN/JUMPER GAMMA LITE		MAIN/JUMPER GAMMA PCS		MAIN/JUMPER GAMMA AWS	
LINE 1	OR	PPOR	POR	POR	POR	PORP	PORP
LINE 2	OG	PPOG	POG	POG	POG	POGP	POGP
RRU/AZ/TRIPLEXER/DIPEXER BELOW:							
PCS A-2/LTE _4 WAY/RX		LTE A-2/LTE _4 WAY/RX		AWS A-2/LTE _4 WAY/RX		850 LTE _(FUTURE)	
LINE 1	ALPHA 1__PYRW	ALPHA 1__PYRW	ALPHA 1__PYRW	ALPHA 1__PYRW	ALPHA 1__PYRW	ALPHA 1__PPPYG	ALPHA 1__PPPYG
LINE 2	ALPHA 2__PYGW	ALPHA 2__PYGW	ALPHA 2__PYGW	ALPHA 2__PYGW	ALPHA 2__PYGW	ALPHA 2__PPPYG	ALPHA 2__PPPYG
LINE 1	BETA 1__PBRW	BETA 1__PBRW	BETA 1__PBRW	BETA 1__PBRW	BETA 1__PBRW	BETA 1__PPBB	BETA 1__PPBB
LINE 2	BETA 2__PBGW	BETA 2__PBGW	BETA 2__PBGW	BETA 2__PBGW	BETA 2__PBGW	BETA 2__PPBB	BETA 2__PPBB
LINE 1	GAMMA 1__PORW	GAMMA 1__PORW	GAMMA 1__PORW	GAMMA 1__PORW	GAMMA 1__PORW	GAMMA 1__PPOR	GAMMA 1__PPOR
LINE 2	GAMMA 2__POGW	GAMMA 2__POGW	GAMMA 2__POGW	GAMMA 2__POGW	GAMMA 2__POGW	GAMMA 2__PPOG	GAMMA 2__PPOG
DIPLEXERS/TRIPLEXERS #1 SET (ANY FREQ)							
LINE 1	ALPHA 1__YY	ALPHA 1__YYR	ALPHA 1__YYR	ALPHA 1__YYG	ALPHA 1__YYG	TBD	TBD
LINE 2	ALPHA 2__YY	ALPHA 2__YYR	ALPHA 2__YYR	ALPHA 2__YYG	ALPHA 2__YYG	TBD	TBD
LINE 1	BETA 1__BB	BETA 1__BBR	BETA 1__BBR	BETA 1__BBG	BETA 1__BBG	TBD	TBD
LINE 2	BETA 2__BBB	BETA 2__BBBR	BETA 2__BBBR	BETA 2__BBBG	BETA 2__BBBG	TBD	TBD
LINE 1	GAMMA 1__OO	GAMMA 1__OOR	GAMMA 1__OOR	GAMMA 1__OOG	GAMMA 1__OOG	TBD	TBD
LINE 2	GAMMA 2__OOO	GAMMA 2__OORR	GAMMA 2__OORR	GAMMA 2__OOGG	GAMMA 2__OOGG	TBD	TBD
COMBINERS PCS/AWS (HIGH BAND)							
LINE 1	ALPHA 1__PTY	ALPHA 1__PPYY	ALPHA 1__PPYY	TBD	TBD	TBD	TBD
LINE 2	ALPHA 2__PTY	ALPHA 2__PPYY	ALPHA 2__PPYY	TBD	TBD	TBD	TBD
LINE 1	BETA 1__PBB	BETA 1__PBBB	BETA 1__PBBB	TBD	TBD	TBD	TBD
LINE 2	BETA 2__PBBB	BETA 2__PBbbb	BETA 2__PBbbb	TBD	TBD	TBD	TBD
LINE 1	GAMMA 1__POO	GAMMA 1__PPOO	GAMMA 1__PPOO	TBD	TBD	TBD	TBD
LINE 2	GAMMA 2__POOO	GAMMA 2__PPOOO	GAMMA 2__PPOOO	TBD	TBD	TBD	TBD

Manuel S. Tshias, Architect  
1520 River Park Drive, Sacramento, CA 95815  
916-505-3811  
COMPLETE Wireless Consulting, Inc.

Verizon  
AXE HANDLE CANYON  
14855 PYRAMID WAY  
RENO, NV 89510  
SHEET TITLE: RAYCAP CONNECTION GUIDE/ ANTENNA COLOR CODE TABLE



Revisions:

1	---
2	---
3	---
4	---
5	---

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Drawn By: WMS  
Checked By: TST  
Scale: AS NOTED  
Date: 12/05/17

Job No. 162.1654

A4.3

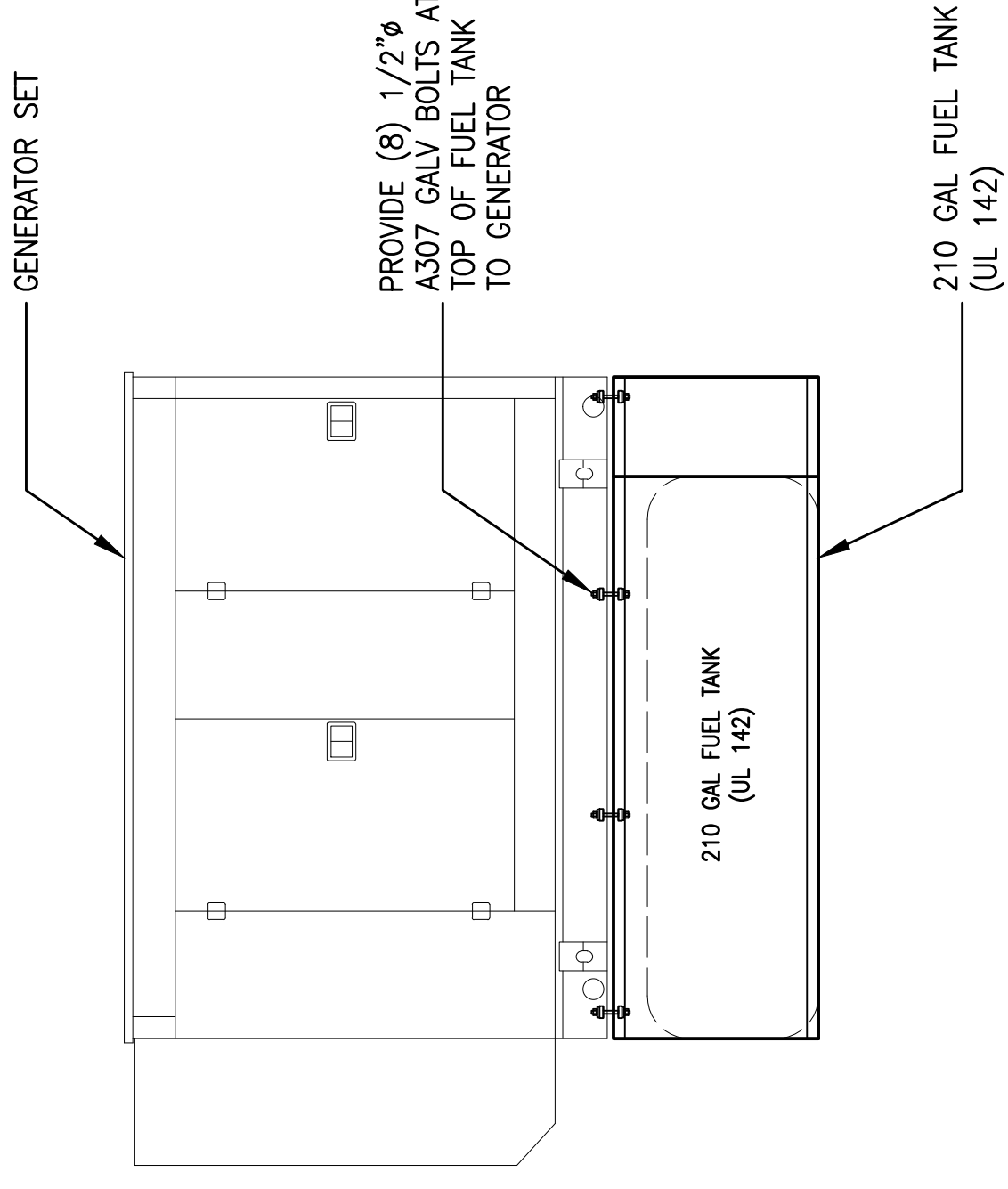
RAYCAP INSTALL GUIDE FOR 1-3 SECTOR SITES (REV 6)

RAYCAP #1 FIBER CONNECTIONS (1 - 3 SECTOR SITE)											
UPPER POSITION	7	8	9	10	11	12					
FIBER CONNECTION	OPEN	OPEN	OPEN	AWS - A2 ALPHA 2	AWS - A2 BETA 2	AWS GAMMA 1					
VZW COLOR CODE	OPEN	OPEN	OPEN	BR/P/Y/P/W	BR/P/B/P/W	BR/P/O/P/W					
LOWER POSITION	1	2	3	4	5	6					
FIBER CONNECTION	700 ALPHA 1	700 BETA 1	700 GAMMA 1	AWS ALPHA 1	AWS BETA 1	AWS GAMMA 1					
FIBER COLOR CODE	BR/P/P/Y	BR/P/P/B	BR/P/P/O	BR/P/Y/P	BR/P/B/P	BR/P/O/P					
POWER COLOR CODE	R/P/P/Y	R/P/P/B	R/P/P/O	R/P/Y/P	R/P/B/P	R/P/O/P					
RAYCAP #2 FIBER CONNECTIONS (1 - 3 SECTOR SITE)											
UPPER POSITION	7	8	9	10	11	12					
FIBER CONNECTION	OPEN	OPEN	OPEN	OPEN	OPEN	OPEN					
VZW COLOR CODE	OPEN	OPEN	OPEN	OPEN	OPEN	OPEN					
LOWER POSITION	1	2	3	4	5	6					
FIBER CONNECTION	PCS ALPHA 1	PCS BETA 1	PCS GAMMA 1	850 ALPHA 1	850 BETA 1	850 GAMMA 1					
FIBER COLOR CODE	BR/P/Y	BR/P/B	BR/P/O	BR/P/P/Y	BR/P/P/B	BR/P/P/O					
POWER COLOR CODE	R/P/Y	R/P/B	R/P/O	R/P/P/Y	R/P/P/B	R/P/P/O					









3 GENERATOR FUEL TANK ATTACHMENT DETAIL

A6.3 SCALE: 1/2" = 1'-0"

GENERAC INDUSTRIAL POWER																
STATEMENT OF EXHAUST EMISSIONS 2015 DIESEL FUELED GENERATOR																
CERTIFICATION DATA																
<p>The measured emissions values provided here are proprietary to Generac and its authorized dealers. This information may be used for informational purposes only. It is not intended to be used for regulatory compliance, nor is it intended for public viewing. This information is not intended for compilation or other purposes and may not be used as such, nor may it be used to represent the performance of any specific piece of equipment. The information is provided for informational purposes only and does not constitute a warranty. This information is not intended for compilation or other purposes and may not be used as such, nor may it be used to represent the performance of any specific piece of equipment. The information is provided for informational purposes only and does not constitute a warranty.</p>	<p>Model: PM06LS 4104-005            Part Number: 1663240100            Serial Number: 1663240100            Production Date: 10/2015            Emissions Standard Category: Stationary Engine (S) (40 CFR Part 101 Subpart III)</p>															
<p>Generator Model: PM06LS 4104-005            kW Rating: 30            Voltage: 480V            Engine Model: EX400T-6cm3            Rated Engine Power (BEP)*: 35            Fuel Consumption (gall/hr): 4.32            Aspiration: Turbo/Intercooled            Rated RPM: 1800</p>	<p>EPA Certification Number: 6082            EPA Certificate Number: 6082-014-0143            EPA Stationary Engine Model: 2015            EPA Stationary Engine Category: Stationary Engine (S) (40 CFR Part 101 Subpart III)</p>															
<table border="1"> <thead> <tr> <th colspan="3">Emissions based on engine power of specific engine model.</th> </tr> <tr> <th colspan="3">(These values are actual composite weighted exhaust emissions results over the EPA 5-mode test cycle)</th> </tr> <tr> <th>CO</th> <th>NOx + NH3HC</th> <th>PM</th> </tr> </thead> <tbody> <tr> <td>3.51</td> <td>4.27</td> <td>0.15</td> </tr> <tr> <td>2.64</td> <td>3.19</td> <td>0.11</td> </tr> </tbody> </table> <p>*Emissions based on engine power of specific engine model.            (These values are actual composite weighted exhaust emissions results over the EPA 5-mode test cycle)</p>	Emissions based on engine power of specific engine model.			(These values are actual composite weighted exhaust emissions results over the EPA 5-mode test cycle)			CO	NOx + NH3HC	PM	3.51	4.27	0.15	2.64	3.19	0.11	<p>Emissions based on engine power of specific engine model.            (These values are actual composite weighted exhaust emissions results over the EPA 5-mode test cycle)</p>
Emissions based on engine power of specific engine model.																
(These values are actual composite weighted exhaust emissions results over the EPA 5-mode test cycle)																
CO	NOx + NH3HC	PM														
3.51	4.27	0.15														
2.64	3.19	0.11														
<p>The test values are actual exhaust emissions test measurements obtained from an engine representative of the type described above. The test values are based on 5-mode testing as defined by EPA and are not intended for regulatory compliance purposes. Values are based on 5-mode testing as defined by EPA and are not intended for regulatory compliance purposes. Values are based on 5-mode testing as defined by EPA and are not intended for regulatory compliance purposes. Values are based on 5-mode testing as defined by EPA and are not intended for regulatory compliance purposes. Values are based on 5-mode testing as defined by EPA and are not intended for regulatory compliance purposes.</p>																

2 EXHAUST EMISSIONS DATA

A6.3 SCALE: NONE

IN	DESCRIPTION	FUNCTION
1	3/8" NPT COUPLING	FUEL SUPPLY
2	2" NPT WELD FLANGE	FUEL FILL
3	FUEL LEVEL GAUGE	ELECTRONIC SENDER/VISUAL GAUGE
4	3/8" NPT COUPLING	FUEL RETURN
5	2" NPT WELD FLANGE	NORMAL VENT
6	3" NPT WELD FLANGE	INNER TANK EMERGENCY VENT
7	1/2" NPT HALF COUPLING	OUTER TANK LEAK DETECTOR
8	3" NPT STREET ELBOW	OUTER TANK EMERGENCY VENT
9	1/2" NPT HALF COUPLING	FLUID BASIN ALARM

TANK P/N	0J81730ST03
TOTAL CAPACITY	825 [218]
USABLE CAPACITY	795 [210]
DRY WEIGHT	448 [988]

CAPACITY: LITER (GALLONS)  
 WEIGHT: KILOGRAMS (POUNDS)  
 DIMENSIONS: MM (INCH)

UL #142 LISTED

REMOVEABLE STUB-UP COVER

STUB-UP COVER REMOVED IN THIS VIEW FOR CLARITY

STUB-UP COVER REMOVED IN THIS VIEW FOR CLARITY

965 [38.0] height to fuel level gauge  
 110 [4.3] height to fuel return  
 680 [26.8] height to fluid basin alarm  
 1250 [49.2] height to inner tank emergency vent  
 1820 [71.7] height to outer tank emergency vent  
 1930 [76.0] height to fluid basin alarm

TITLE	INSTALL BASE TANK A-GRP
210 GAL WITH FLUID CONTAINMENT	

ISSUE DATE: \_\_\_\_\_

REV	DESCRIPTION	DWG NO	DATE
A	REV	0J8971	12/05/17

SCALE: 0.063 WT-KG 0.00 SHEET 1 of 1

GENERAC INDUSTRIAL POWER

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DRAWING CREATED FROM PRO/ENGINEER 3D FILE. ECO MODIFICATION TO BE APPLIED TO SOLID MODEL ONLY.

# INSTALLATION DRAWING

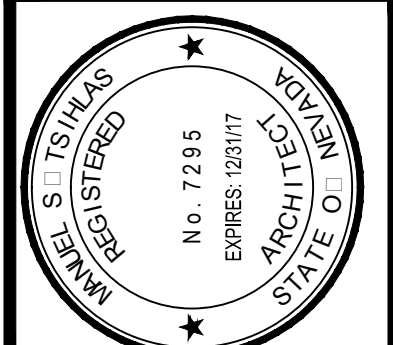
1 U.L. 142 CERTIFIED, 210 GALLON TANK DETAIL

A6.3 SCALE: NONE

Manuel S. Tshias, Architect  
 1520 River Park Drive, Sacramento, CA 95815  
 916-505-3811  
 COMPLETE Wireless Consulting, Inc.

Verizon  
 AXE HANDLE CANYON  
 14855 PYRAMID WAY  
 RENO, NV 89510

SHEET TITLE: U.L. 142 CERTIFIED, 210 GALLON TANK DETAIL



Revisions:

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△	---
△	---
△	---

File: 162.1654\_A6.3.dwg  
 Drawn By: MWS  
 Checked By: IST  
 Scale: AS NOTED  
 Date: 12/05/17

Job No. 162.1654

A6.3

# STRUCTURAL NOTES

- GENERAL STRUCTURAL NOTES**
- ALL NEW WORK SHALL BE IN CONFORMANCE WITH THE 2016 CALIFORNIA BUILDING CODE, CBC, TITLE 24, PART 2.
  - FOUNDATION DESIGN PRESSURES PER CHAPTER 18A OF CBC:  
DL + LL = 1,500 PSF  
DL + LL + LATERAL = 2,000 PSF
  - FOOTINGS SHALL BEAR ON FIRM UNDISTURBED NATIVE SOILS OR ENGINEERED FILL AT OR EXCEEDING DEPTHS SHOWN ON THE DRAWINGS AND IN ACCORDANCE WITH CHAPTER 18 OF THE 2016 CBC.
  - CONTRACTOR SHALL VERIFY ALL DIMENSIONS, ELEVATIONS, PROPERTY LINES, ETC. ON THE JOB.
  - CONTRACTOR SHALL NOTIFY THE ARCHITECT WHERE A CONFLICT OCCURS ON ANY OF THE CONTRACT DRAWINGS OR DOCUMENTS. CONTRACTOR IS NOT TO ORDER MATERIAL OR CONSTRUCT ANY PORTION OF THE STRUCTURE THAT IS IN CONFLICT UNTIL CONFLICT IS RESOLVED WITH THE AFFECTED PARTIES.

**CONCRETE NOTES**

- CONCRETE CONSTRUCTION SHALL CONFORM TO ACI-318.
- CONCRETE FOR SHELTER FOUNDATIONS, EQUIPMENT & GENERATOR SLABS:  
MINIMUM COMPRESSIVE STRENGTH OF 3000.PSI AT 28 DAYS WITH A 4" MAXIMUM SLUMP.
- CONCRETE FOR FENCE POSTS, H-FRAME POSTS, STOOPS & MISC:  
MINIMUM COMPRESSIVE STRENGTH OF 2500.PSI AT 28 DAYS WITH A 4" MAXIMUM SLUMP.
- REFER TO TOWER DESIGNER FOUNDATION DRAWINGS FOR CONCRETE SPECIFICATIONS FOR TOWER FOUNDATIONS.
- ALL REINFORCING SHALL CONFORM TO ASTM A615, GRADE 60.
- LAP ALL REINFORCING 40 BAR DIAMETERS (24" MINIMUM) UNLESS NOTED OTHERWISE ON DRAWINGS.
- MAINTAIN MINIMUM 3" COVER AT ALL REINFORCING STEEL UNLESS NOTED OTHERWISE.

**STEEL NOTES**

- FABRICATION, ERECTION AND MATERIALS SHALL CONFORM WITH THE AISC SPECIFICATIONS AND THE 2016 CBC
- MATERIALS:  
W SHAPES  
C SHAPES, L SHAPES & PLATES  
RECTANGULAR HSS  
PIPES  
MACHINE BOLTS & U-BOLTS  
HIGH STRENGTH BOLTS  
ANCHOR BOLTS  
HEAVY HEX NUTS  
WASHERS  
HIGH STRENGTH THREADED ROD  
ASTM A-992, GRADE 50  
ASTM A-36  
ASTM A-500, GRADE B  
ASTM A-53, GRADE B  
ASTM A-307, GRADE A  
ASTM A-325, TYPE 1  
ASTM F-1554, GRADE 36  
ASTM A563A  
ASTM F436  
ASTM F-1554, GRADE 105
- ALL JOINTS TO BE INSTALLED SNUG-TIGHT PER THE AISC/RCS SPECIFICATION FOR STRUCTURAL JOINTS USING HIGH-STRENGTH BOLTS 2009 EDITION
- USE STANDARD AISC GAGE AND PITCH FOR BOLTS EXCEPT AS NOTED
- HOLES FOR BOLTS SHALL BE SAME DIAMETER AS BOLT PLUS 1/16"
- WELDING SHALL CONFORM TO AWS D1.1 LATEST EDITION. USE E70XX SERIES ELECTRODES AS REQUIRED FOR INTENDED USE
- FINISHES:  
ALL EXTERIOR STEEL AND HARDWARE TO BE HOT DIP GALVANIZED PER THE FOLLOWING STANDARDS:  
STRUCTURAL SHAPES  
ASTM A-123  
ASTM A-153  
HARDWARE & FASTENERS

**POST-INSTALLED CONCRETE ANCHORS:**

- UNLESS NOTED OTHERWISE, ALL POST-INSTALLED CONCRETE ANCHORS SHALL BE "HILTI" KB-TZ STAINLESS STEEL. DIAMETER AND EMBEDMENT DEPTH AS SPECIFIED ON THE DRAWINGS
- INSTALL ANCHORS PER MANUFACTURER'S PUBLISHED INSTRUCTIONS AND IN ACCORDANCE WITH ICC-ES REPORT ESR-1917
- PERIODIC SPECIAL INSPECTION IS REQUIRED IN ACCORDANCE WITH 2016 CBC SECTION 1705.1.1 AND TABLE 1705.3, ITEM 4.

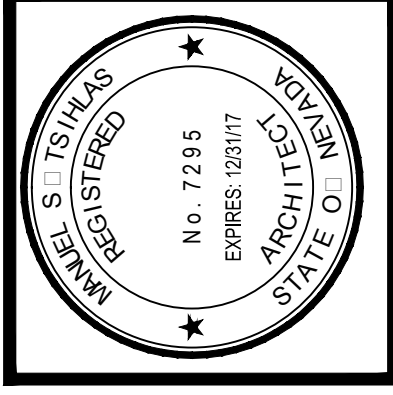
Manuel S. Tshias, Architect  
1520 River Park Drive, Sacramento, CA 95815  
916-505-3811  
COMPLETE  
Wireless Consulting, Inc.

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STRUCTURAL DETAILS

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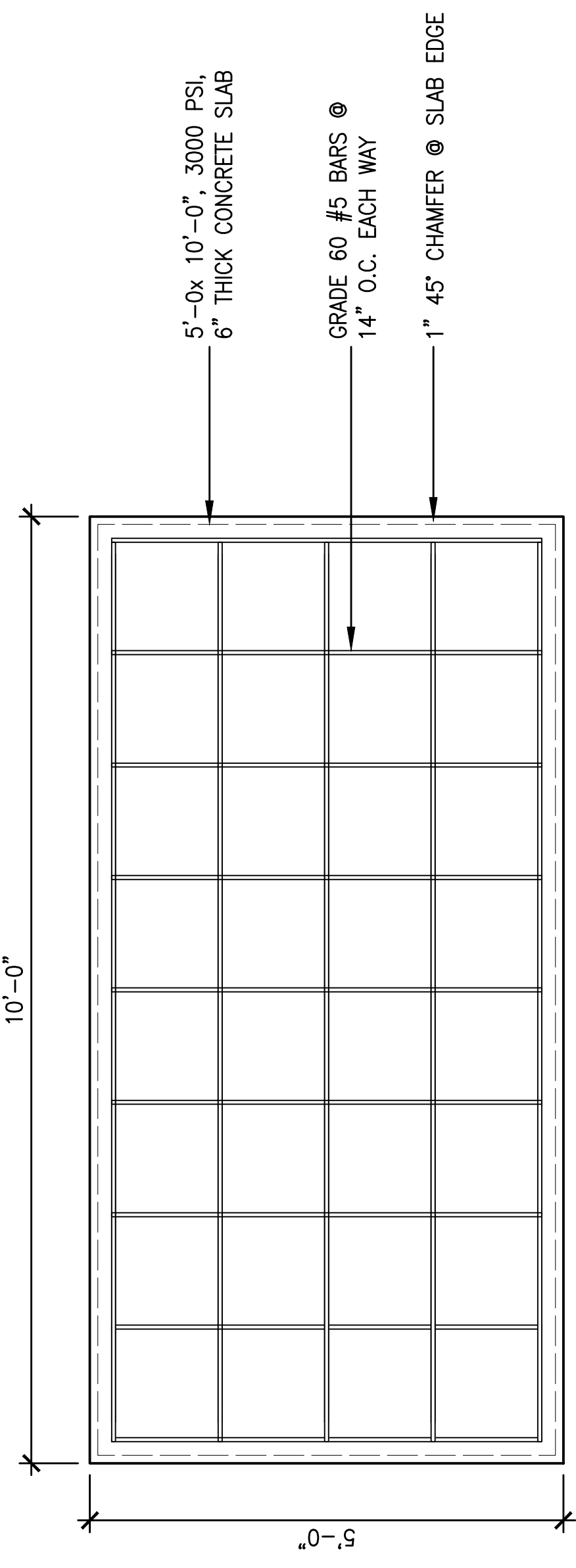


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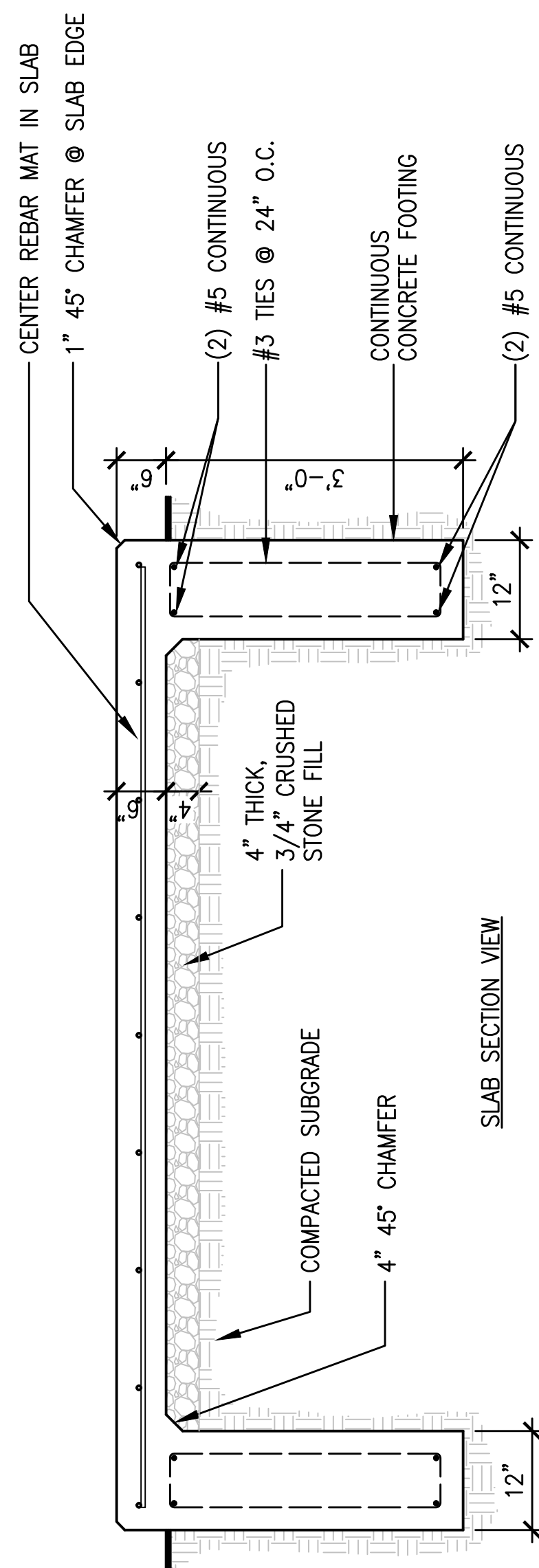

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Job No. 162.1654

**S1.1**



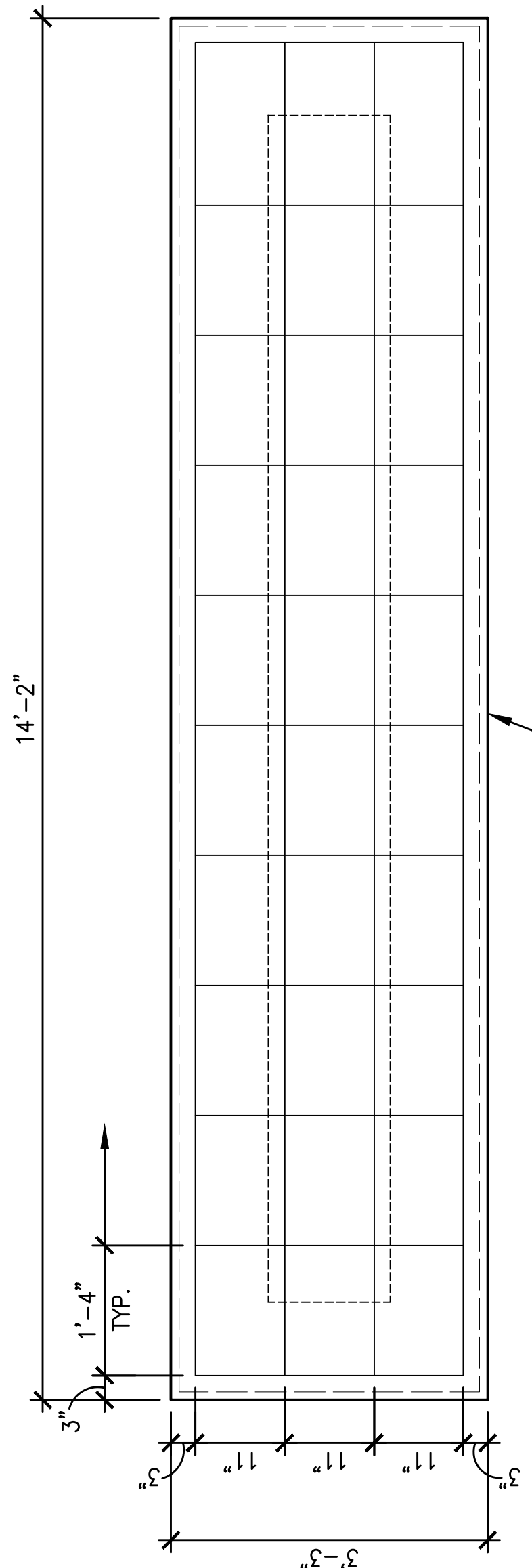
SLAB PLAN VIEW



SLAB SECTION VIEW

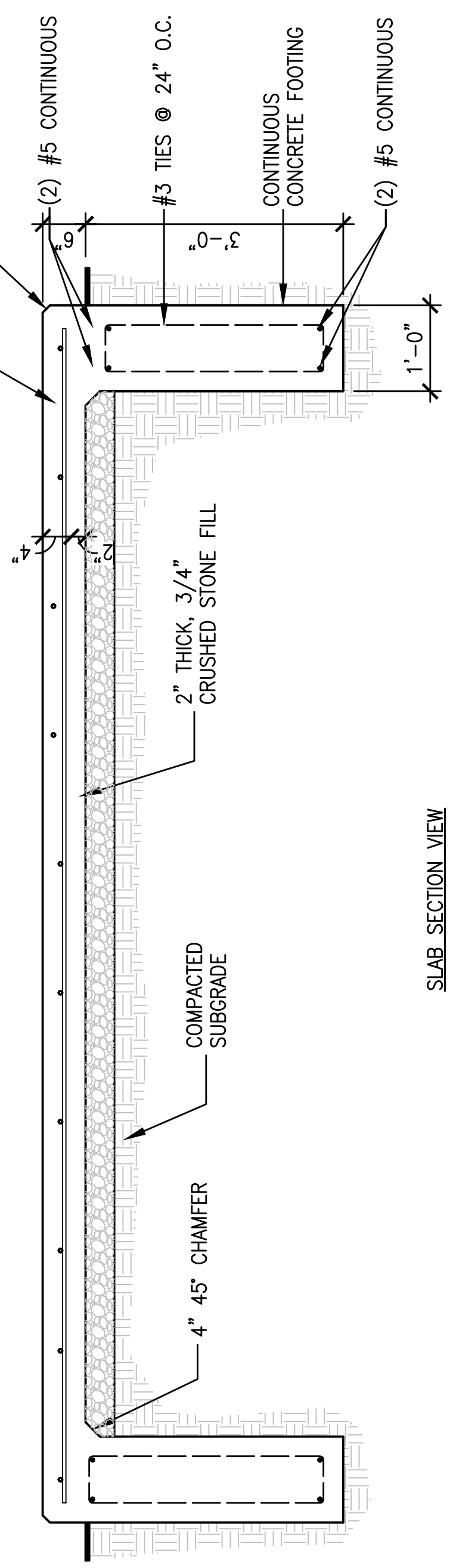
8 GENERATOR SLAB DETAIL  
S1.1 SCALE: 3/4" = 1'-0"

NOTE: MAINTAIN MINIMUM 3" COVER @ ALL REINFORCING STEEL



SLAB & FOOTING FOR EQUIPMENT:  
6" THICK, 3000 PSI CONCRETE SLAB WITH 1" CHAMFER AT TOP EDGE

SLAB PLAN VIEW



SLAB SECTION VIEW

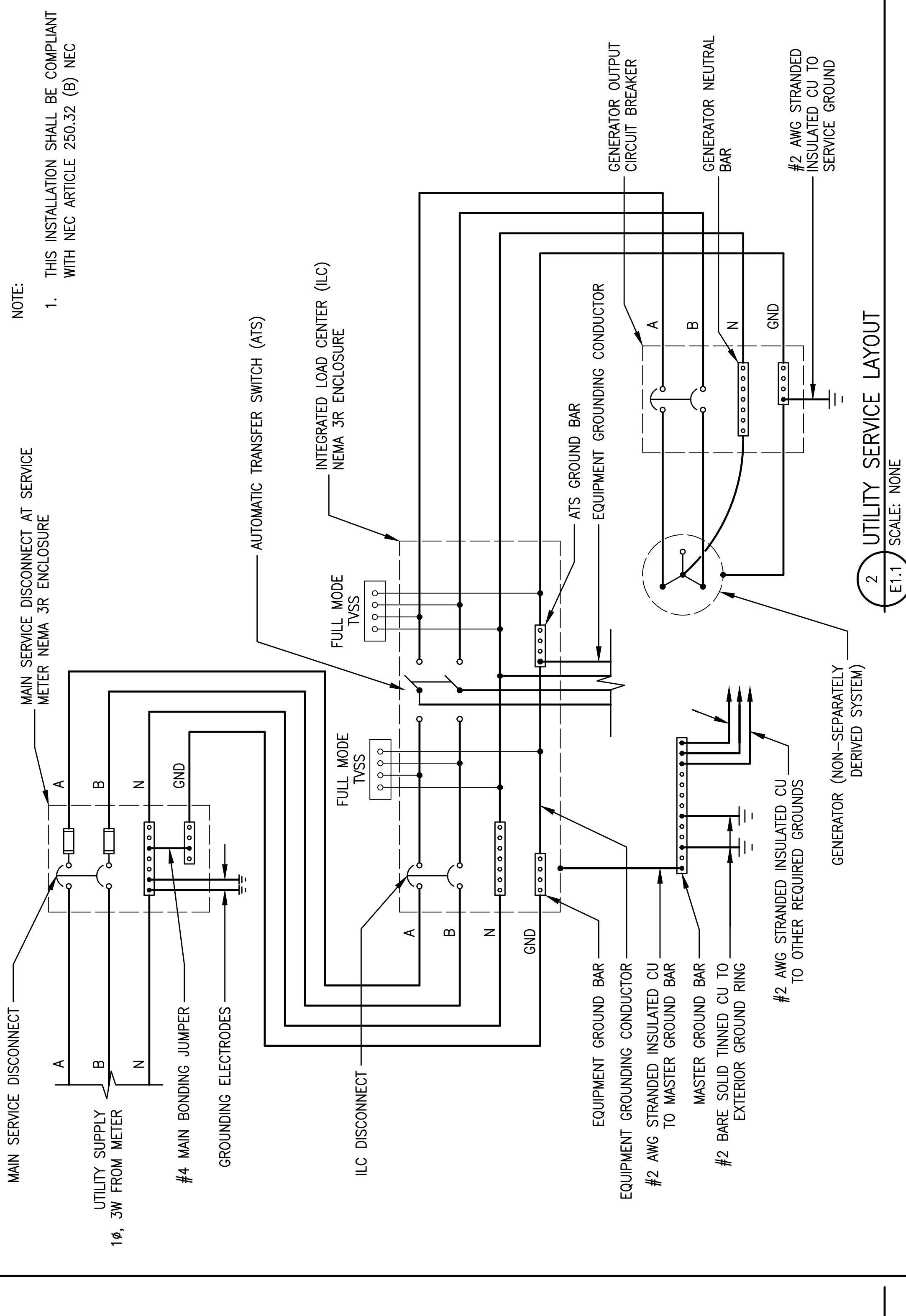
1 EQUIPMENT SLAB DETAIL  
S1.1 SCALE: 3/4" = 1'-0"

NOTE: MAINTAIN MINIMUM 3" COVER @ ALL REINFORCING STEEL

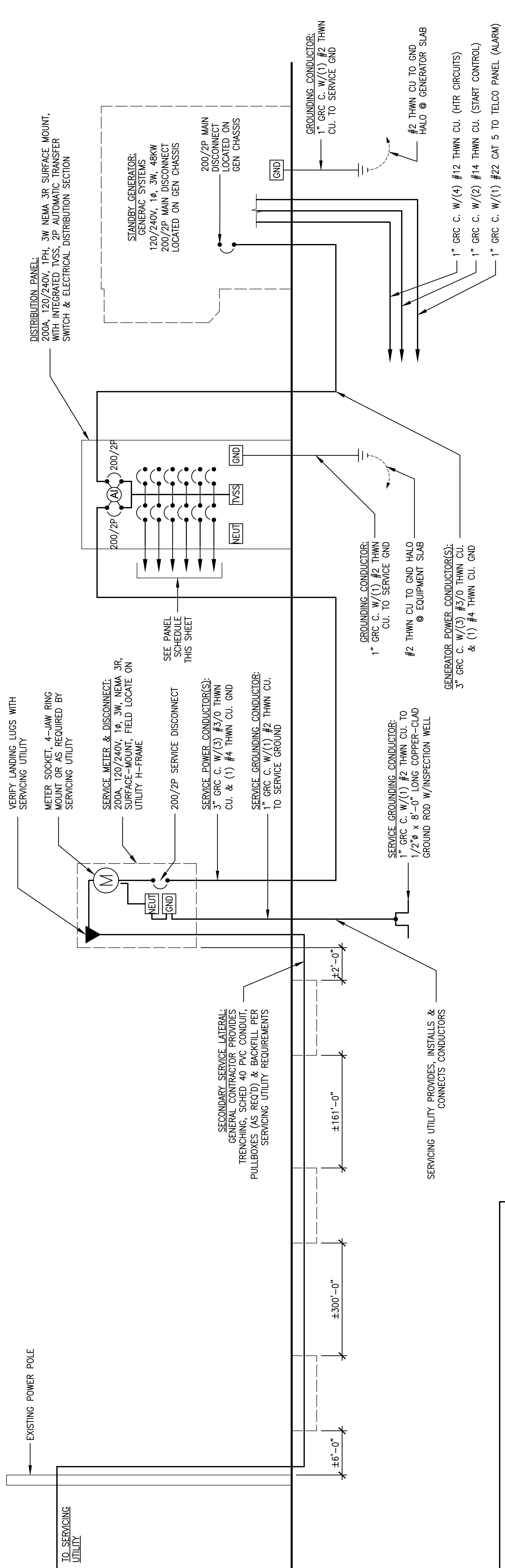
DESIGNATION: PANEL "VERIZON"										
LOAD	LOAD PER PHASE (VA)		QTY	UNIT VA	LOAD PER PHASE (VA)			DESCRIPTION	WIRE TYPE	WIRE TYPE
	A	B			A	B	PHASE			
1					1200	1	1200	MISC CAB	2	2
3					180	1	180	EXTERIOR GFCI RECEPTACLE	4	4
5					36	2	36	EXTERIOR LIGHTS	6	6
7					1500	1	1500	GENERATOR HEATER	8	8
9					240	1	240	GENERATOR CHARGER	10	10
11					180	1	180	TELCO PANEL	12	12
13	48V PLANT RECEPTACLE	1	180	180	0	0	0		14	14
15	48V PLANT RECT #1	1	1600	1600	1600	1	1600	48V PLANT RECT #5	16	16
17	48V PLANT RECT #2	1	1600	1600	1600	1	1600	48V PLANT RECT #6	20	20
21	48V PLANT RECT #3	1	1600	1600	1600	1	1600	48V PLANT RECT #7	24	24
25	48V PLANT RECT #4	1	1600	1600	1600	1	1600	48V PLANT RECT #8	28	28
29	Subtotal Continuous	1	1600	6400	6400	1	6400	Subtotal Continuous	30	30
				Subtotal Non-Continuous	180	0	180	Subtotal Non-Continuous		
				Total KVA Continuous X 1.25 =	33.50		Total KVA Continuous X 1.25 =		33.50	
				Total KVA Non-Continuous =	2.32		Total KVA Non-Continuous =		2.32	
				Total Amperage =	149.23		Total Amperage =		149.23	

PANEL CIRCUIT AND LOAD SCHEDULE	
LOAD	WIRE TYPE
1	THWN Verify 12 1 20
3	THWN Verify 12 1 20
5	THWN Verify 12 1 20
7	THWN Verify 12 1 20
9	THWN Verify 12 1 20
11	THWN Verify 12 1 20
13	THWN Verify 10 2 20
15	THWN Verify 10 2 20
17	THWN Verify 10 2 20
21	THWN Verify 10 2 20
25	THWN Verify 10 2 20
29	THWN Verify 10 2 20

3 PANEL SCHEDULE  
E1.1 SCALE: NO SCALE



2 UTILITY SERVICE LAYOUT  
E1.1 SCALE: NONE



1 ELECTRICAL ONE-LINE DIAGRAM  
E1.1 SCALE: NONE

RTM Engineers and Consultants  
7550 Amy Ave, Fair Oaks, California 95628  
Phone: 916-965-4598 E-Mail: rtmeng@comcast.net

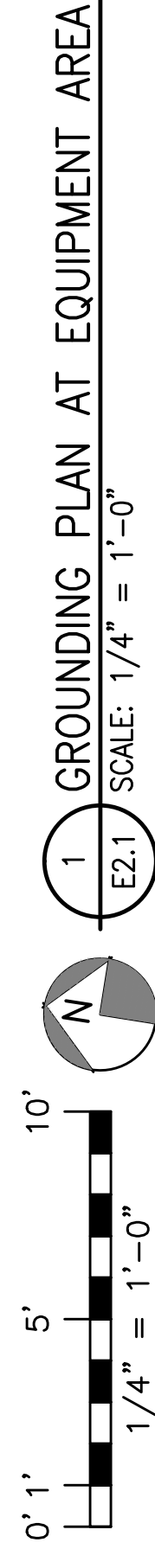
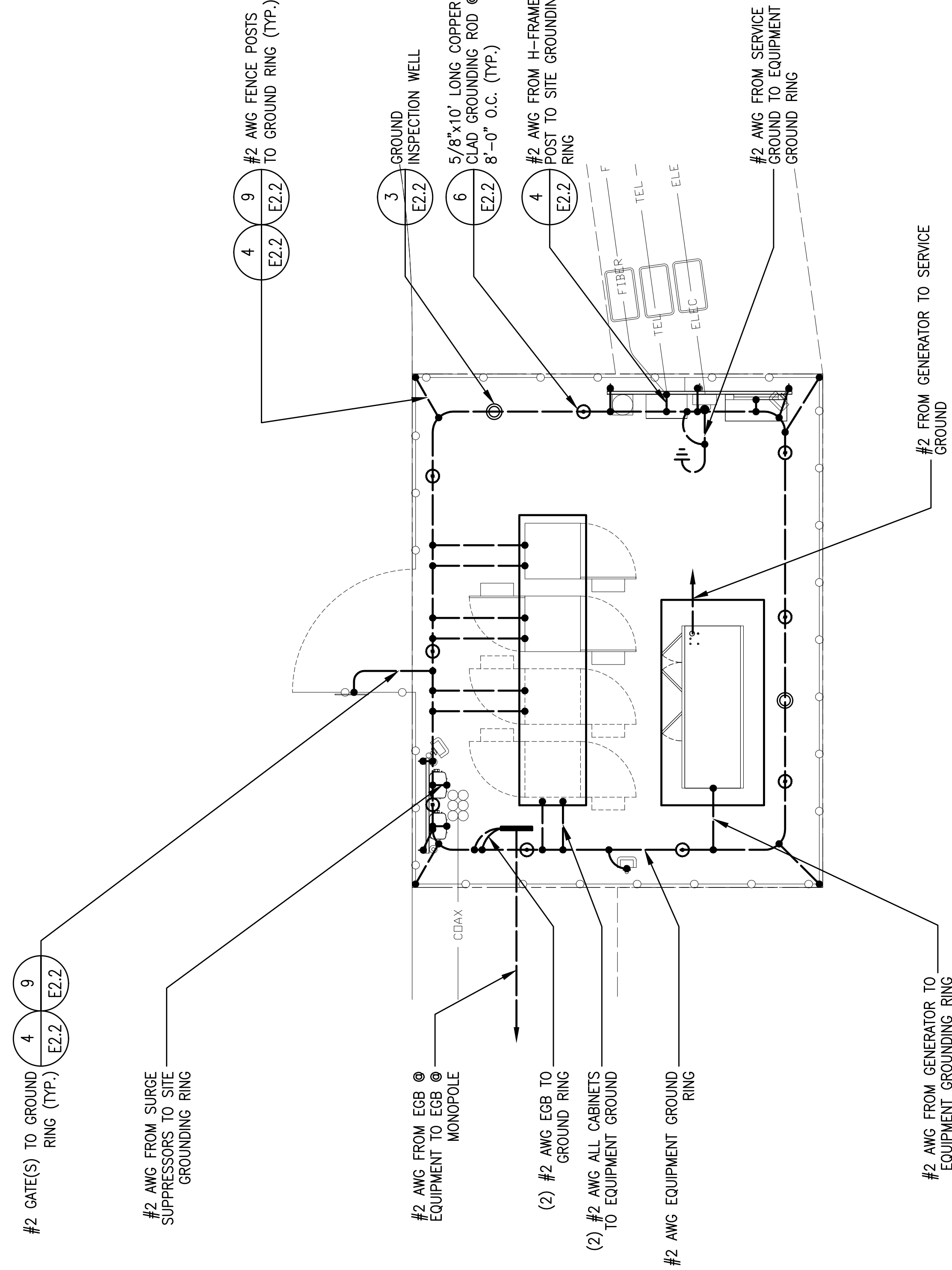
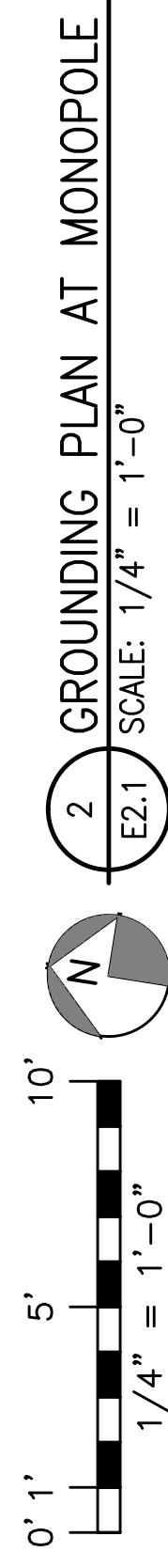
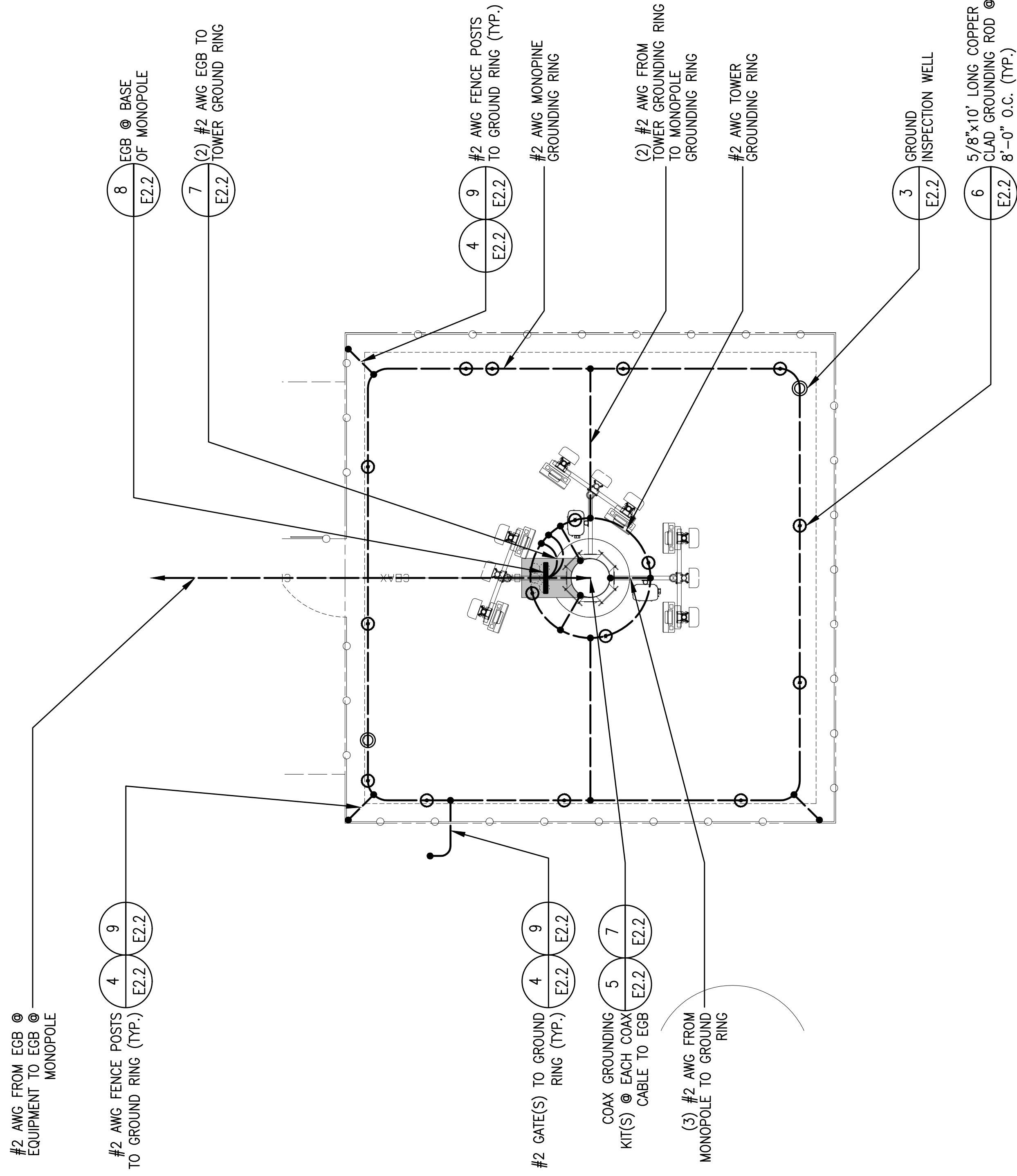
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14855 PYRAMID WAY  
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SHEET TITLE: ELECTRICAL DETAILS  
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Drawn By: MWS  
Checked By: 1ST  
Scale: AS NOTED  
Date: 08/21/17  
Job No. 162.1654

E1.1

**NOTES:**

- #1 NO CADWELDS TO ANY GROUND BARS
- #2 RUN 2/0 GREEN INSULATED GROUND FROM THE COAX GROUND BAR TO THE MASTER GROUND BAR
- #3 CONNECT LEAD 20 FROM THE GROUND BAR INSIDE THE ILC PANEL TO THE MASTER GROUND BAR
- #4 BE SURE NEUTRAL & GROUND ARE NOT BONDED IN THE GENERATOR
- #5 GROUND ALL METAL ENCLOSURES TO THE HALO, INCLUDING LOUVERS, ALARM BLOCK, ETC.
- #6 PLASTIC TY-RAPS ARE NOT TO BE USED ON ANY GROUND ATTACHMENTS BUT ONLY WAX STRING



Revisions:


File: 162.1654.E2.1.dwg  
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Checked By: 1ST  
Scale: AS NOTED  
Date: 09/21/17

Job No. 162.1654

**GROUNDING NOTES**

- GROUNDING SHALL COMPLY WITH NEC ART. 250.
- GROUND COAXIAL CABLE SHIELDS MINIMUM AT BOTH ENDS USING MANUFACTURER'S COAX CABLE GROUNDING KITS SUPPLIED BY PBMS.
- USE #2 COPPER STRANDED WIRE WITH GREEN COLOR INSULATION FOR ABOVE GRADE GROUNDING (UNLESS OTHERWISE SPECIFIED) AND #2 SOLID TINNED BARE COPPER WIRE FOR BELOW GRADE GROUNDING AS INDICATED ON THE DRAWING.
- ALL GROUND CONNECTIONS TO BE BURNDY HYGROUND COMPRESSION TYPE CONNECTORS OR CADWELD EXOTHERMIC WELD. DO NOT ALLOW BARE COPPER WIRE TO BE IN CONTACT WITH GALVANIZED STEEL.
- ROUTE GROUNDING CONDUCTORS ALONG THE SHORTEST AND STRAIGHTEST PATH POSSIBLE, EXCEPT AS OTHERWISE INDICATED. GROUNDING LEADS SHOULD NEVER BE BENT AT RIGHT ANGLE. ALWAYS MAKE AT LEAST 12" RADIUS BENDS. #6 WIRE CAN BE BENT AT 6" RADIUS WHEN NECESSARY.
- BOND ANY METAL OBJECTS WITHIN 7 FEET OF PBMS EQUIPMENT OR CABINET TO THE MASTER GROUND BAR.
- CONNECTIONS TO MGB SHALL BE ARRANGED IN THREE MAIN GROUPS: SURGE PRODUCERS (COAXIAL CABLE GROUND KITS, TELCO AND POWER PEDESTAL GROUND OR SURGE PROTECTOR); SURGE ABSORBERS (GROUNDING ELECTRODE RING OR BUILDING STEEL); NON-SURGING OBJECTS (EGB GROUND IN BTS)
- CONNECTIONS TO GROUND BARS SHALL BE MADE WITH TWO HOLE COMPRESSION TYPE COPPER LUGS AND NO-OX OR EQUIVALENT PLACED BETWEEN CONNECTOR AND GROUND BAR.
- THE GROUND ELECTRODE SYSTEM SHALL CONSIST OF DRIVEN GROUND RODS UNIFORMLY SPACED AROUND CELL SITE. THE GROUND RODS SHALL BE 5/8" X 8'-0" COPPER CLAD STEEL. THE RODS SHALL BE INTERCONNECTED WITH #2 SOLID TINNED COPPER GROUND WIRE BURIED A MINIMUM 2'-1/2" BELOW THE SURFACE OF THE SOIL.
- ALL UNDERGROUND ELECTRODES SHALL BE BONDED TO STEEL REINFORCING EMBEDDED IN THE CONCRETE SLAB AND CONCRETE MONOPOLE FOUNDATION.
- MUST APPLY BUTYL & ELECTRICAL TAPE OVER COLD SHRINK AT ALL LOCATIONS. FOR WEATHER PROOFING OVER GROUND KITS, MORE BUTYL TAPE MAY NEED TO BE APPLIED THAN WHAT IS PROVIDED WITH THE MFG. KIT.
- TEST COMPLETED GROUND SYSTEM AND RECORD RESULTS FOR PROJECT CLOSE-OUT DOCUMENTATION.



VERIZON WIRELESS GALVANIZED STEEL GROUND BAR W/ANTI-THEFT HARDWARE, NON-REMOVABLE, PROVIDED BY ELECTRIC MOTION COMPANY	
PART #	BAR DESCRIPTION
EM SCC 49-VZW-NR	1/4" x 4" x 9"
EM SCC 412-VZW-NR	1/4" x 4" x 12"
EM SCC 418-VZW-NR	1/4" x 4" x 18"
EM SCC 420-VZW-NR	1/4" x 4" x 20"
EM SCC 424-VZW-NR	1/4" x 4" x 24"

INCLUDES TWO STAINLESS STEEL TORQUE SHEAR HEAD BOLTS, W/ANTI LOOSENING COMPOUND

GENERAL CONTRACTOR TO STAMP "VERIZON WIRELESS" & SITE NUMBER BAR & PAINT ANTI-THEFT COMPANY, PRODUCT #EM 5101

